

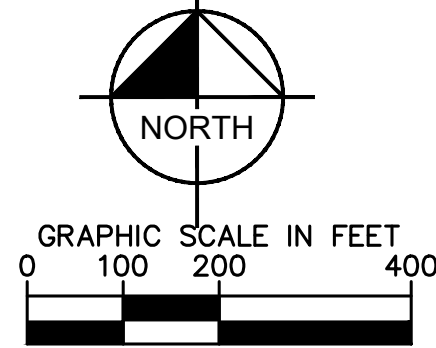
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CLARK FARMS LOT AND YARD REQUIREMENTS	
SINGLE FAMILY - FRONT LOADED	
MIN. LOT AREA	6,000 SF
MIN. LOT WIDTH	50'
MAX. LOT DEPTH	NOT APPLICABLE
MIN. LOT FRONTAGE	30'
MIN. FRONT SETBACK	25'
MIN. SIDE SETBACK	8'
MIN. REAR SETBACK	25'
MIN. 1-STORY LIVING AREA	1,600 SF
MIN. 2-STORY FIRST FLOOR	650 SF
MIN. 2-STORY TOTAL FLOOR	1,800 SF
MAX. LOT COVERAGE	60%
MAX. BUILDING HEIGHT	35'

CLARK FARMS LOT AND YARD REQUIREMENTS	
TWO-FAMILY ATTACHED	
MIN. LOT AREA	3,000 SF
MIN. LOT WIDTH	30'
MAX. LOT DEPTH	NOT APPLICABLE
MIN. LOT FRONTAGE	25'
MIN. FRONT SETBACK	20'
MIN. SIDE SETBACK	8' (20' BETWEEN BUILDINGS)
MIN. REAR SETBACK	15'
MIN. 1-STORY LIVING AREA	1,200 SF
MIN. 2-STORY FIRST FLOOR	650 SF
MIN. 2-STORY TOTAL FLOOR	1,400 SF
MAX. LOT COVERAGE	70%
MAX. BUILDING HEIGHT	35'

CLARK FARMS LOT AND YARD REQUIREMENTS	
SINGLE-FAMILY - ALLEY LOADED	
MIN. LOT AREA	5,000 SF
MIN. LOT WIDTH	50'
MAX. LOT DEPTH	NOT APPLICABLE
MIN. LOT FRONTAGE	30'
MIN. FRONT SETBACK	15'
MIN. SIDE SETBACK	8'
MIN. REAR SETBACK	15'
MIN. 1-STORY LIVING AREA	1,400 SF
MIN. 2-STORY FIRST FLOOR	650 SF
MIN. 2-STORY TOTAL FLOOR	1,600 SF
MAX. LOT COVERAGE	NOT APPLICABLE
MAX. BUILDING HEIGHT	35'

CLARK FARMS LOT AND YARD REQUIREMENTS	
TOWNHOME ATTACHED	
MIN. LOT AREA	2,000 SF
MIN. LOT WIDTH	20'
MAX. LOT DEPTH	NOT APPLICABLE
MIN. LOT FRONTAGE	15'
MIN. FRONT SETBACK	15'
MIN. BUILDING SEPARATION	15'
MIN. REAR SETBACK	20'
MIN. 2-STORY FIRST FLOOR	600 SF
MIN. 2-STORY TOTAL FLOOR	1,400 SF
MAX. LOT COVERAGE	75%
MAX. BUILDING HEIGHT	35'



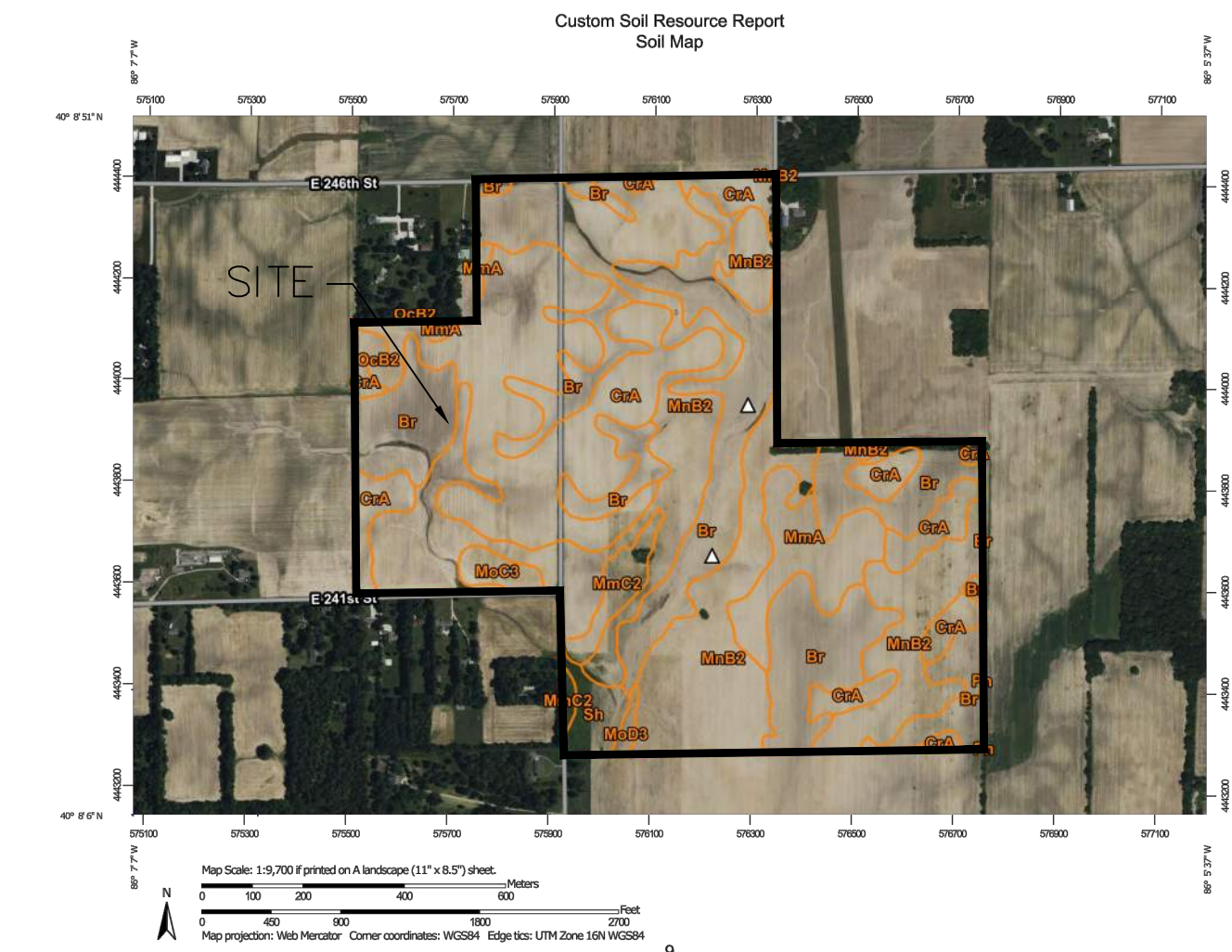
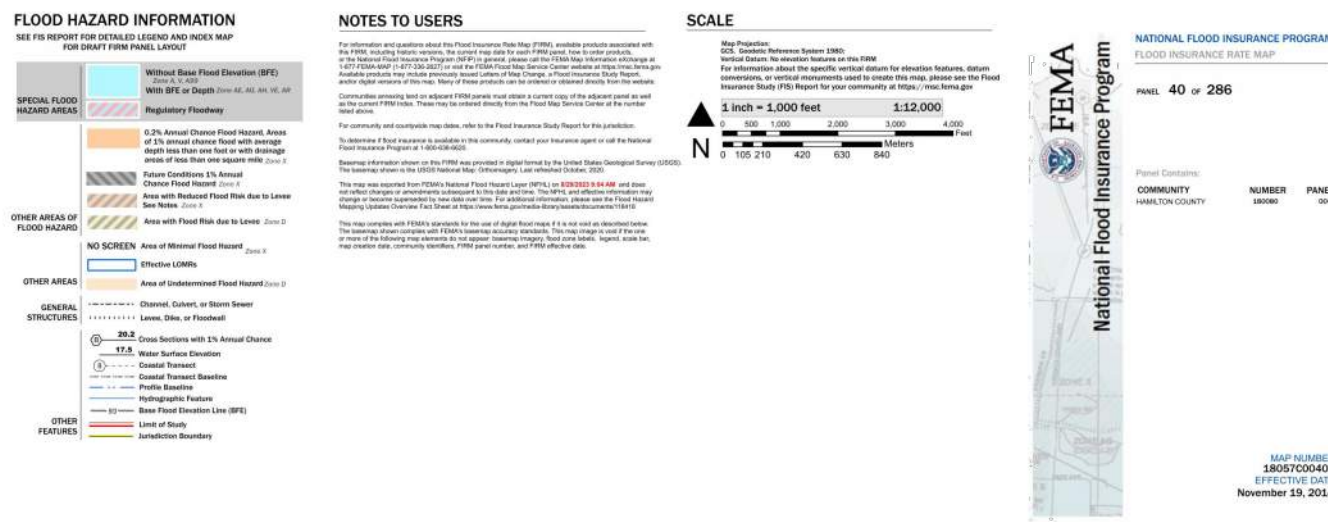
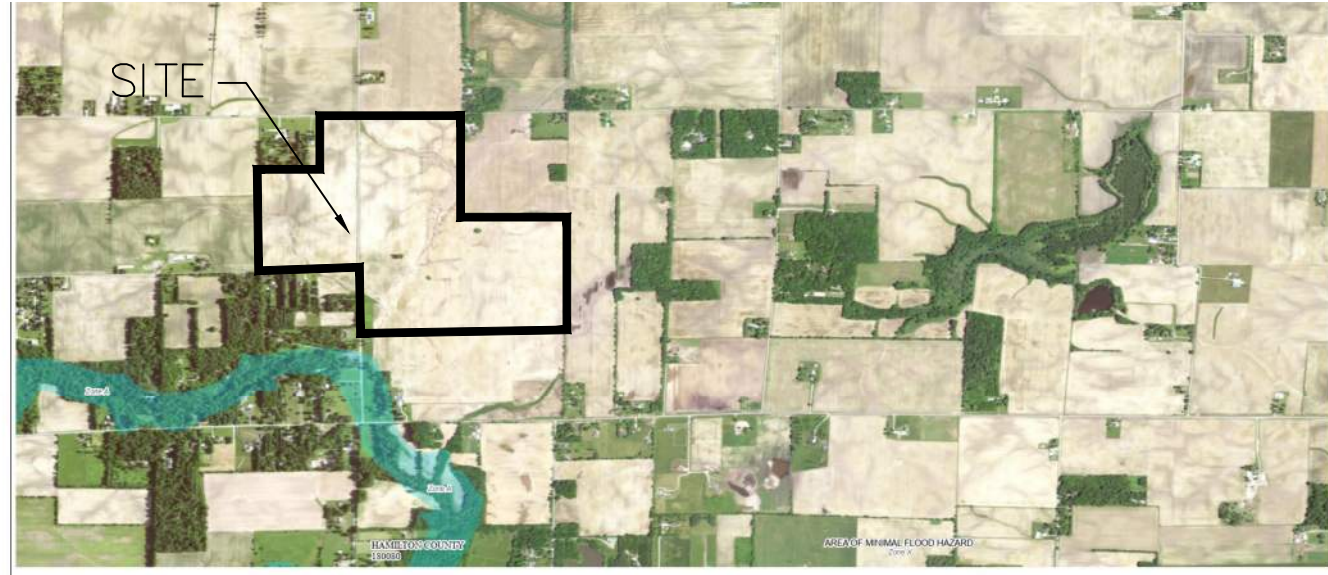
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KIMBERLY S. GOOD
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KATRINA M. KNUTH
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INSTR. NO.
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CRAIG A. INMAN
INSTR. NO.
2015026021

ADJONER:
MAX L. KERCHEVAL
& KAY E.
KERCHEVAL
INSTR. NO.
2010059632



Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Br	Brookston silty clay loam, 0 to 2 percent slopes	69.8	28.2%
C/A	Croby silty loam, fine-loamy subsoil, 0 to 2 percent slopes	63.4	25.0%
MnA	Miami silty loam, 0 to 2 percent slopes	12.8	5.2%
MnC2	Miami silty loam, 6 to 12 percent slopes, eroded	4.6	1.9%
MnB2	Miami silty loam, 2 to 8 percent slopes, eroded	86.1	35.6%
MnC3	Miami clay loam, 6 to 12 percent slopes, severely eroded	2.6	1.0%
MnD3	Miami clay loam, 12 to 18 percent slopes, severely eroded	0.8	0.3%
OaB2	Oakley silty loam, 2 to 8 percent slopes, eroded	1.7	0.7%
Ph	Patton silty clay loam, 0 to 2 percent slopes	0.0	0.0%
Sh	Shoals silty loam, 0 to 2 percent slopes, frequently flooded, brief duration	3.9	1.6%
Totals for Area of Interest		247.7	100.0%

CLARK FARMS

PRIMARY MAJOR PLAT

CICERO, INDIANA

CLARK FARMS PUD ZONING

E 246th STREET

ANTHONY ROAD

E 241st STREET

PLANS PREPARED BY:

KIMLEY-HORN & ASSOCIATES
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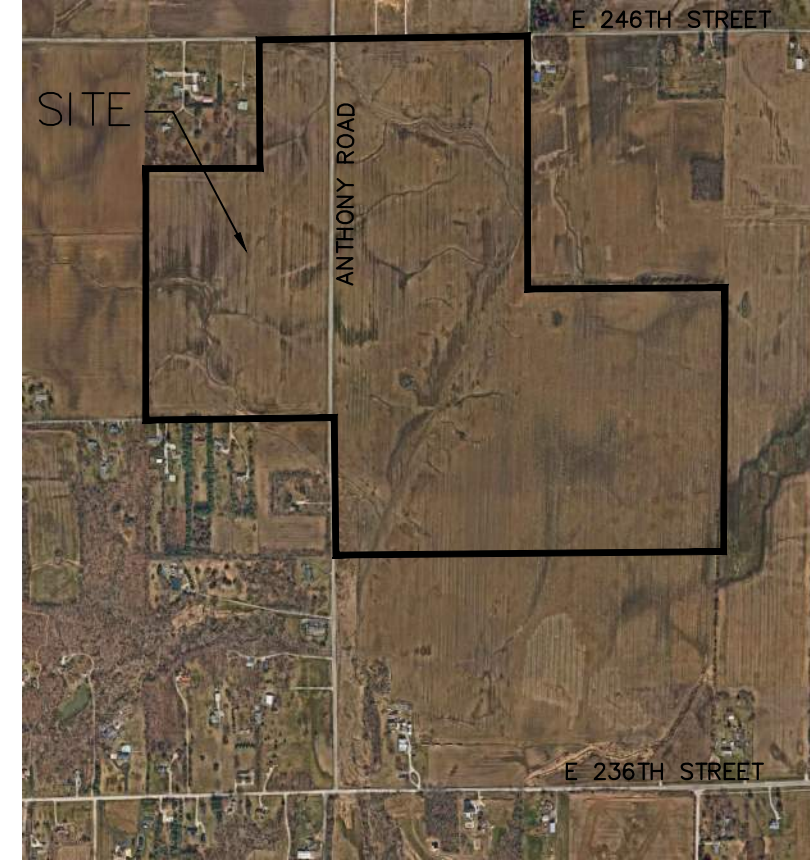
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CARMEL, IN 46032
CONTACT: TONY BAGATO
PHONE: (317) 523-0589
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PRIMARY APPROVAL CERTIFICATION:

PLAN COMMISSIONER PRESIDENT

CICERO TOWN COUNCIL

PLANNING DIRECTOR



LOCATION MAP
SCALE: N.T.S.

ADJONER:
HUGH E. BERRY
TRUST
INSTR. NO.
2019057671

Sheet List Table	
Sheet Number	Sheet Title
C100	COVER SHEET
TS00	TOPOGRAPHICAL SURVEY
TS01	TOPOGRAPHICAL SURVEY
TS02	TOPOGRAPHICAL SURVEY
TS03	TOPOGRAPHICAL SURVEY
TS04	TOPOGRAPHICAL SURVEY
TS05	TOPOGRAPHICAL SURVEY
TS06	TOPOGRAPHICAL SURVEY
TS07	TOPOGRAPHICAL SURVEY
TS08	TOPOGRAPHICAL SURVEY
TS09	TOPOGRAPHICAL SURVEY
PS00	PLAT
PS01	PLAT
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PS04	PLAT
PS05	PLAT
PS06	PLAT
PS07	PLAT
PS08	PLAT
PS09	PLAT
PS10	PLAT
PS11	PLAT
LT01	PRELIMINARY LIGHTING PLAN
LT02	PRELIMINARY LIGHTING PLAN
LT03	PRELIMINARY LIGHTING PLAN

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COVER SHEET

CLARK FARMS
PRIMARY PLAT

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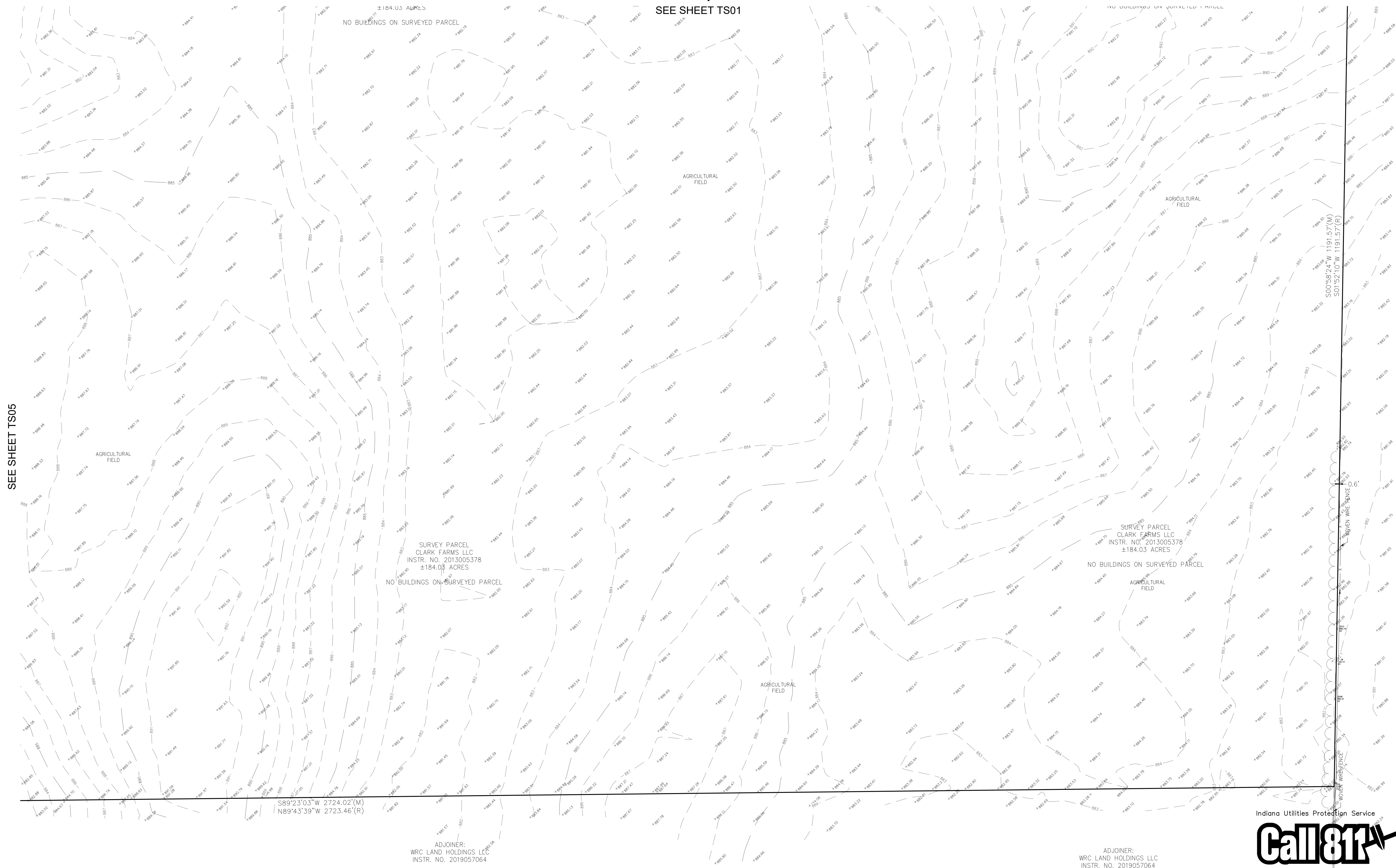
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SEE SHEET TS09 FOR LEGEND.

GRAPHIC SCALE IN FEET

0 30 60 120



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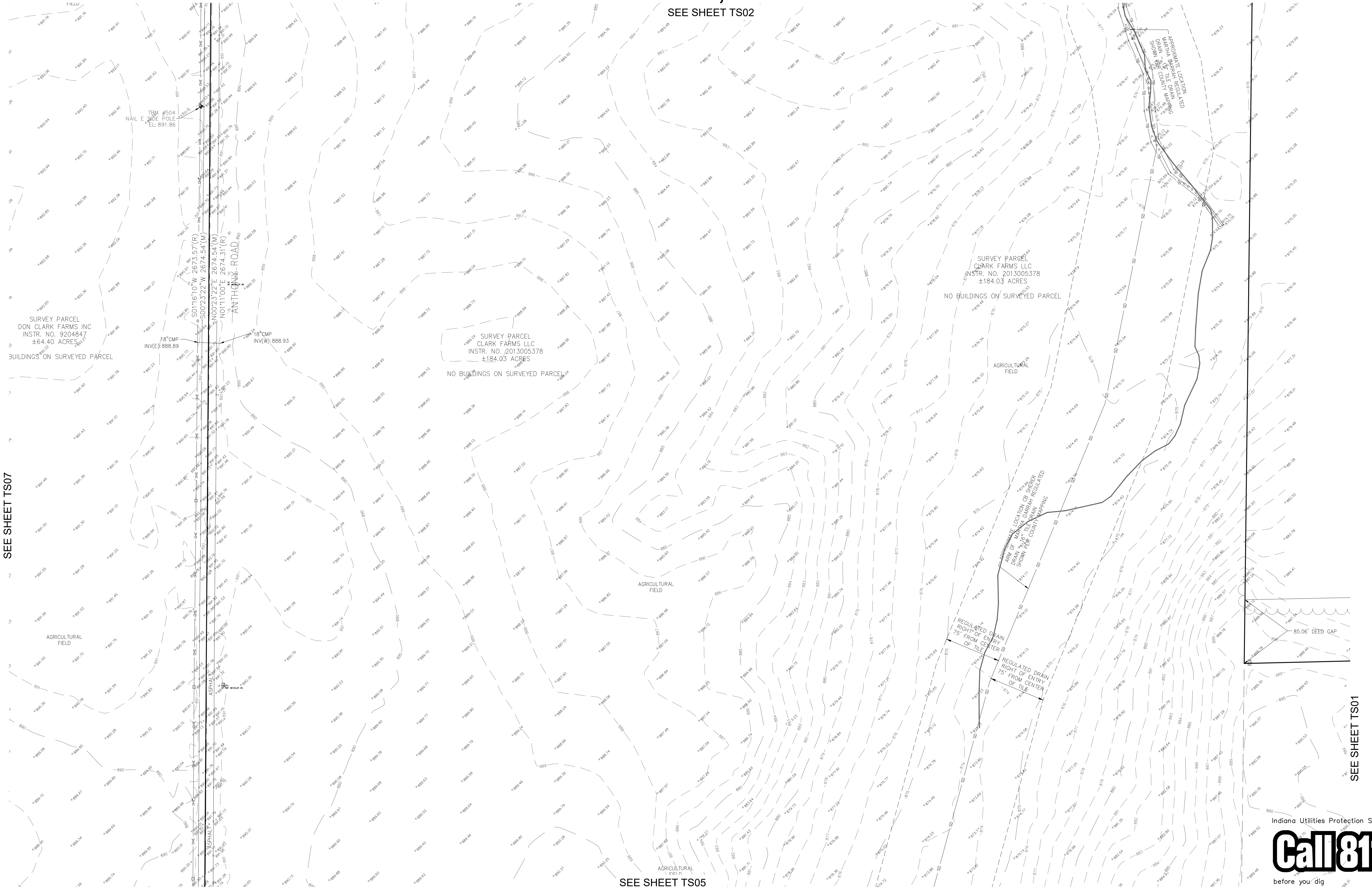
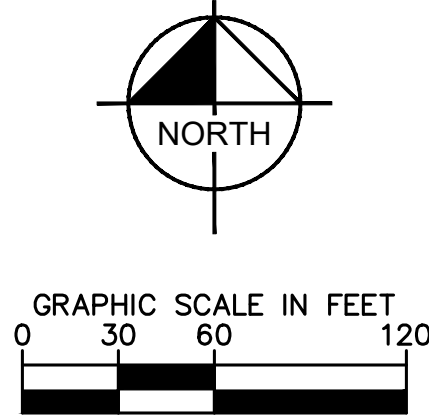
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NOTES
SEE SHEET TS09 FOR LEGEND.

CLARK FARMS PRIMARY MAJOR PLAT CICERO, INDIANA

SEE SHEET TS02



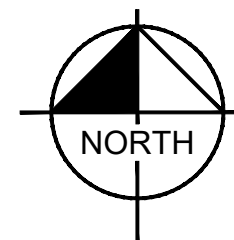
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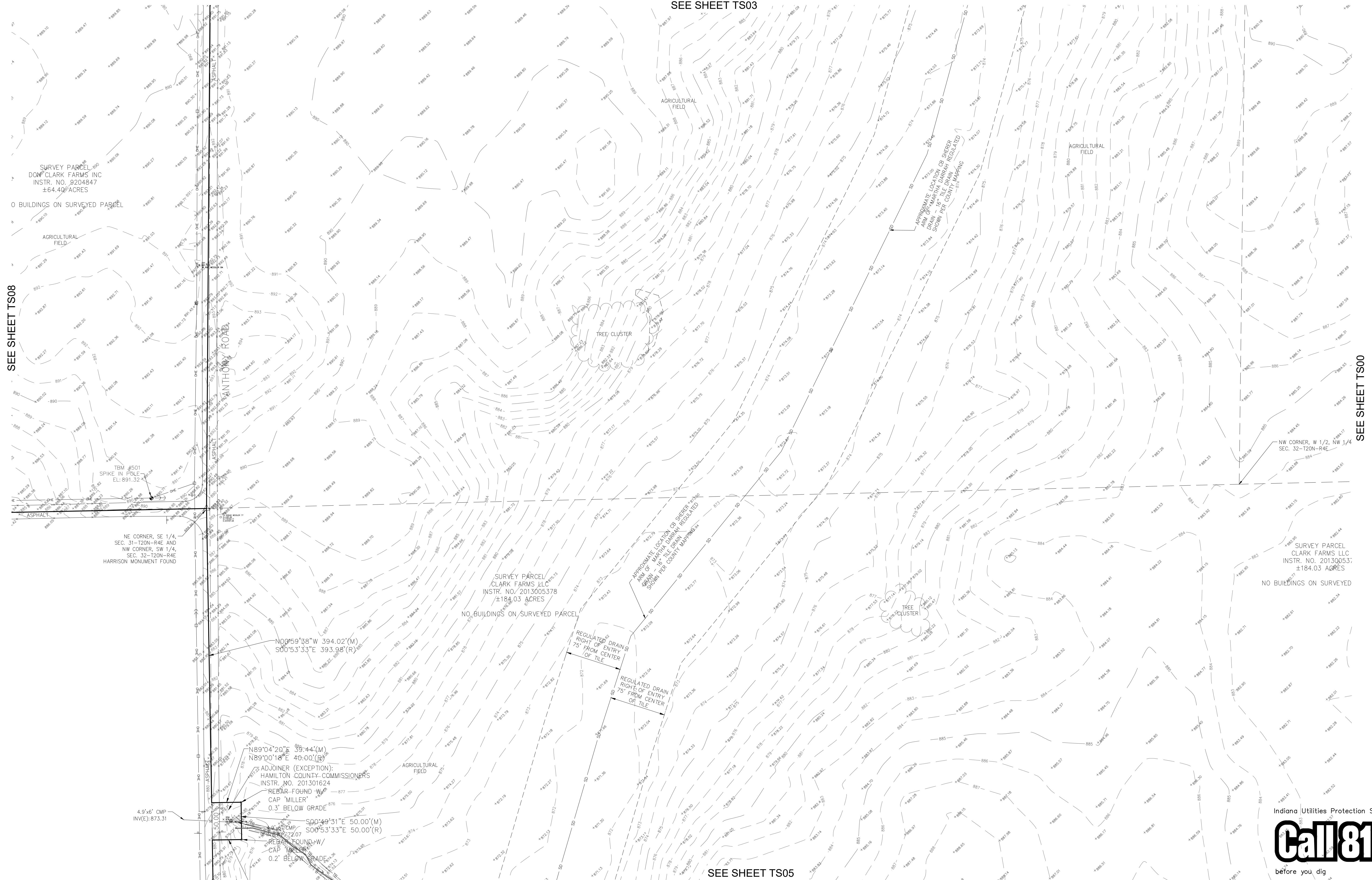
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SEE SHEET TS03



GRAPHIC SCALE IN FEET

A horizontal scale bar with four segments. The top segment is white and labeled '0' at the left and '30' at the right. The second segment is black and labeled '60' at the right. The third segment is white and labeled '120' at the right. The bottom segment is black.



SEE SHEET TS05

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TOPOGRAPHICAL SURVEY

CLARK FARMS
PRIMARY PLAT

ORIGINAL ISSUE:	09/06/2023
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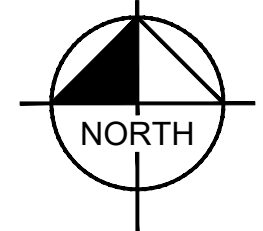
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SEE SHEET TS09 FOR LEGEND.

SEE SHEET TS04



GRAPHIC SCALE IN FEET

0 30 60 120

A horizontal scale bar with four segments. The first segment (0-30) is white, the second (30-60) is black, the third (60-90) is white, and the fourth (90-120) is black. The segments are separated by thin white lines. The numbers 0, 30, 60, and 120 are placed above the bar at their respective positions.

SEE SHEET TS00

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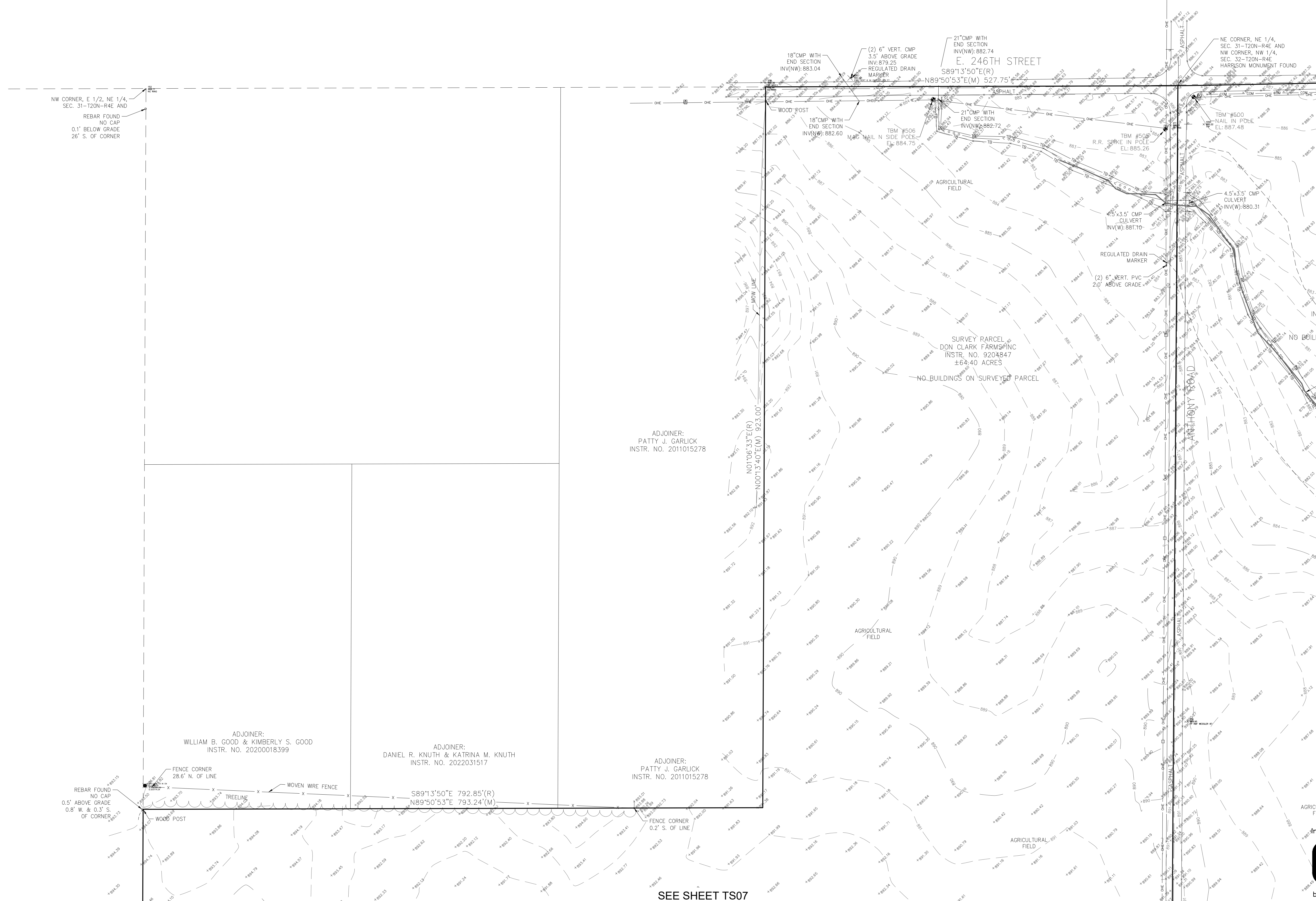
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GRAPHIC SCALE IN FEET

0 30 60 120

A horizontal scale bar with four segments. The first segment (0-30) is white, the second (30-60) is black, the third (60-90) is white, and the fourth (90-120) is black. The segments are labeled 0, 30, 60, and 120 at the top.

SEE SHEET TS02

SEE SHEET TS07

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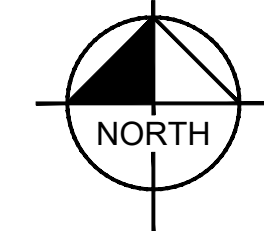
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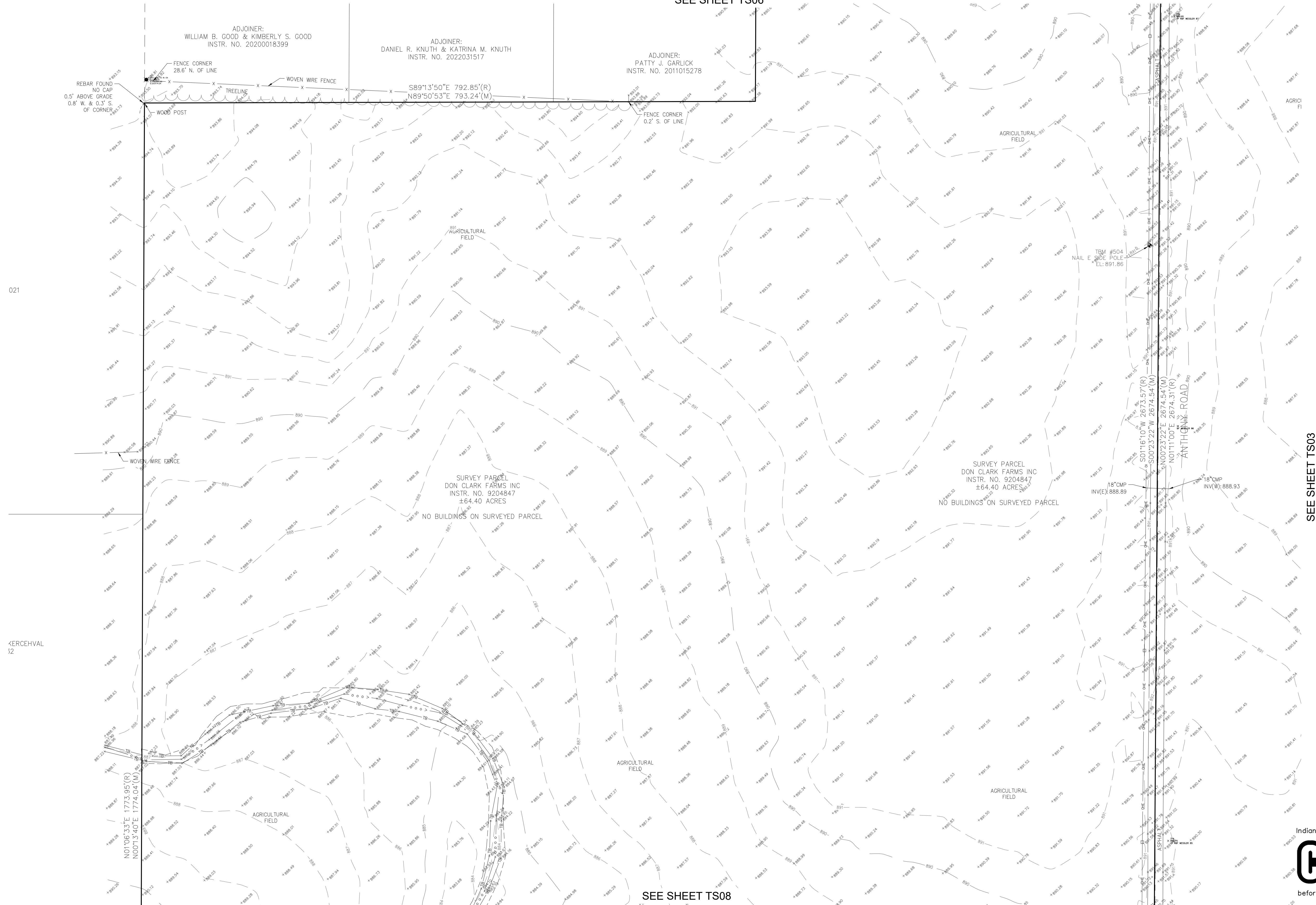
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SEE SHEET TS06



GRAPHIC SCALE IN FEET

A horizontal line with vertical tick marks at 0, 30, 60, and 120. The segment from 0 to 30 is divided into three equal parts by two vertical lines. The segment from 30 to 60 is divided into two equal parts by one vertical line. The segment from 60 to 120 is divided into four equal parts by three vertical lines. The segments from 0 to 30 and 60 to 120 are white, while the segments from 30 to 60 and 0 to 60 (the entire first half) are black.



SEE SHEET TS03

SEE SHEET TS08

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TOPOGRAPHICAL SURVEY

CLARK FARMS
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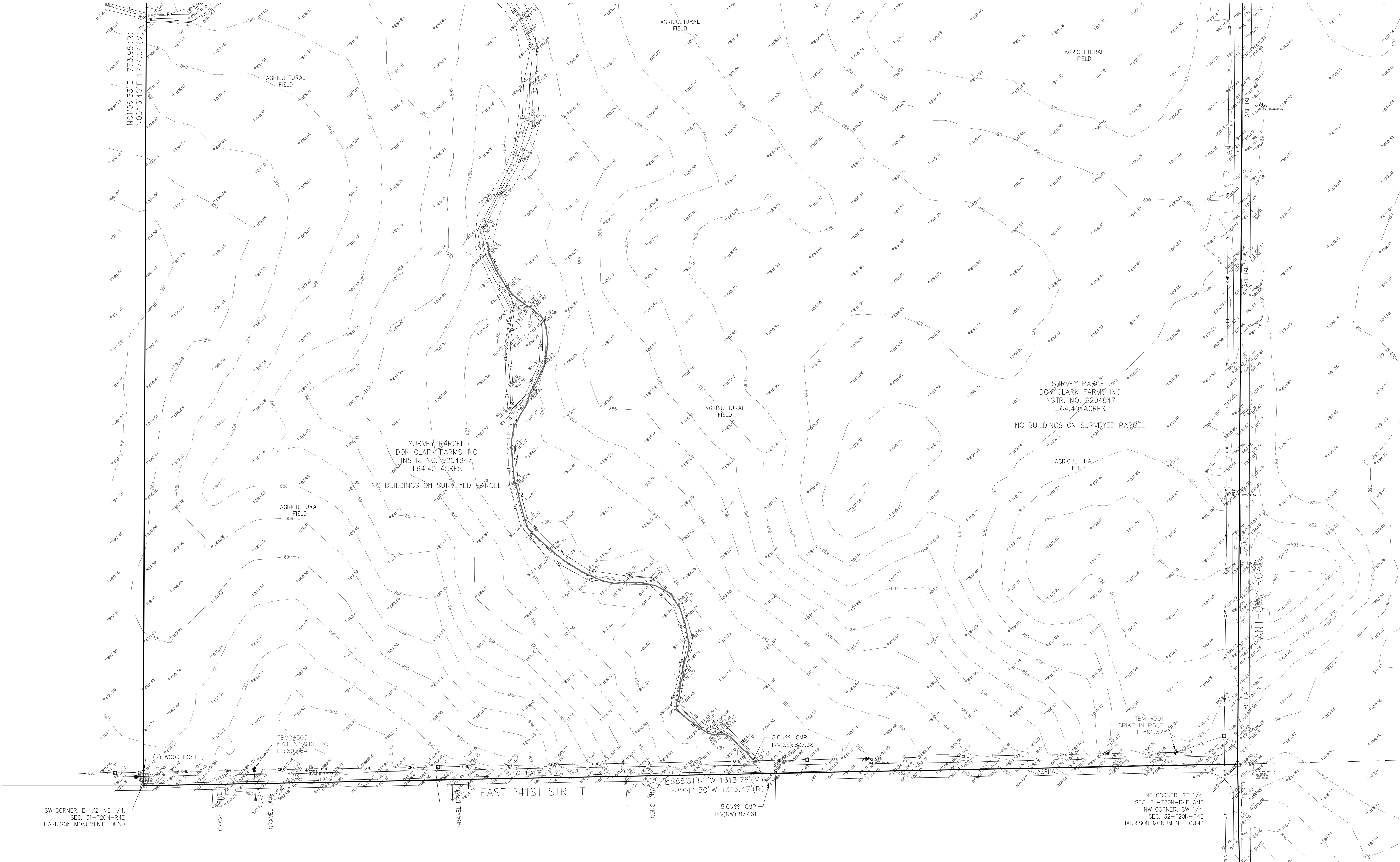
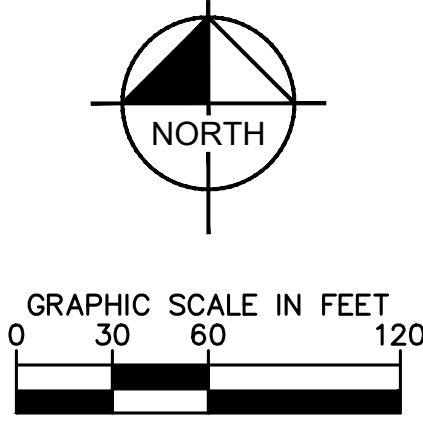
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NOTES
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CLARK FARMS PRIMARY MAJOR PLAT CICERO, INDIANA

SEE SHEET TS07



SEE SHEET TS04

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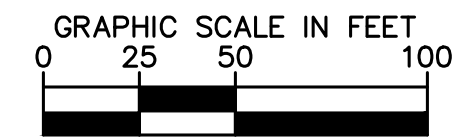
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SEE SHEET PS01

21.	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
U.E.	UTILITY EASEMENT
R/W	RIGHT OF WAY
VAR.	VARIABLE
L.E.	LANDSCAPE EASEMENT
D.E.	DRAINAGE EASEMENT
D.U.&S.S.E.	DRAINAGE UTILITY & SANITARY SEWER EASEMENT



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PLAT

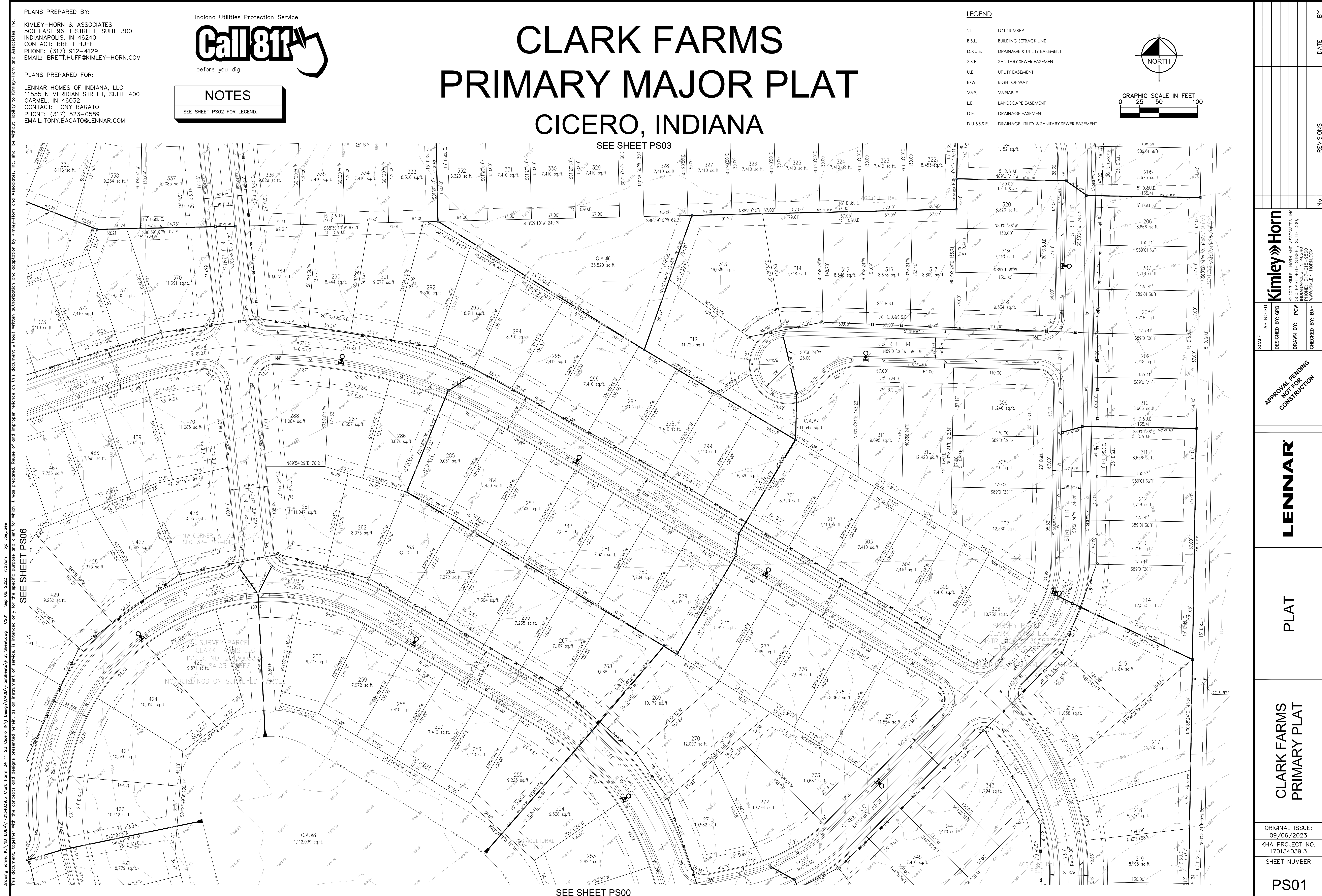
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PS00

Indiana Utilities Protection Service

Call 811
before you dig

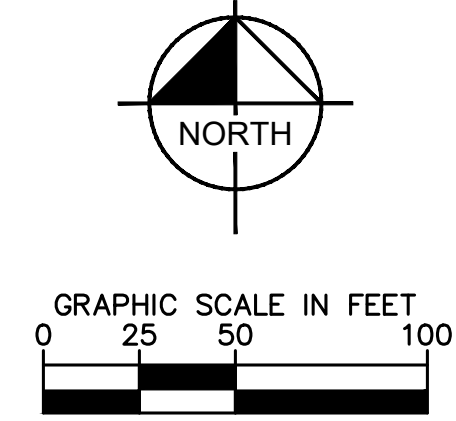


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INDIANAPOLIS, IN 46240
CONTACT: BRETT HUFF
PHONE: (317) 912-4129
EMAIL: BRETT.HUFF@KIMLEY-HORN.COM

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LEGEND

21	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
U.E.	UTILITY EASEMENT
R/W	RIGHT OF WAY
VAR.	VARIABLE
L.E.	LANDSCAPE EASEMENT
D.E.	DRAINAGE EASEMENT
D.U.&S.S.E.	DRAINAGE UTILITY & SANITARY SEWER EASEMENT




























SEE SHEET PS02 FOR LEGEND.

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CARMEL, IN 46032
CONTACT: TONY BAGATO
PHONE: (317) 523-0589
EMAIL: TONY.BAGATO@LENNAR.COM

LEGEND

LEGEND

— • • • • —	FLOW LINE	 P.W.P.	POWER POLES
— BEC —	BURIED ELECTRIC LINE	 E.T.	LIGHT POLE
— E —	OVERHEAD ELECTRIC LINES	 E.P.	ELECT. TRANSFORMER
— BCTV —	BURIED CABLE T.V. LINE	 E.M.	ELECT. PEDESTAL
— CTV —	CABLE T.V. LINE	 →	ELECT. METER
— BTC —	BURIED TELEPHONE LINE	TP 	GUY WIRE
— T —	TELEPHONE LINE		TELEPHONE PEDESTAL
— F —	FORCE MAIN		TELEPHONE MANHOLE
— W —	WATER LINE	C.O. 	GAS VALVE
— G —	GAS LINE		CLEANOUT
—  —	SANITARY SEWER LINE; MANHOLE		WATER METER
—  —	STORM SEWER LINE; MANHOLE, CURB INLET, YARD INLET & ENDSECTION		WATER VALVE
— X — X —	FENCE LINE		FIRE HYDRANT
 	PROPOSED STORM STRUCTURE	M.B. 	MAILBOX
	PROPOSED SANITARY MANHOLE		PK NAIL SET
	PROPOSED FIRE HYDRANT ASSEMBLY		CAPPED REBAR
—  —	PROPOSED SANITARY SEWER		
—  —	PROPOSED STORM SEWER		
— W —	PROPOSED WATER LINE		
	ADA RAMP		

SEE SHEET PS01

Kimley»Horn
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SCALE:	AS NOTED
	DESIGNED BY: GPB
	DRAWN BY: PCW
	CHECKED BY: BAH

APPROVAL PENDING
NOT FOR
CONSTRUCTION

LENNAR.

PLAT

CLARK FARMS
PRIMARY PLAT

ORIGINAL ISSUE:	09/06/2023
KHA PROJECT NO.	170134039.3
SHEET NUMBER	

PS02

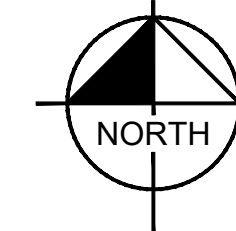
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EMAIL: BRETT.HUFF@KIMLEY-HORN.COM

Call 811 
before you dig

SEE SHEET PS04

C.A.#19
356,899 sq.ft. LAKE #5
123,020 sq.ft.

21	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
U.E.	UTILITY EASEMENT
R/W	RIGHT OF WAY
VAR.	VARIABLE
L.E.	LANDSCAPE EASEMENT
D.E.	DRAINAGE EASEMENT
D.U.&S.S.E.	DRAINAGE UTILITY & SANITARY SEWER EASEMENT



GRAPHIC SCALE IN FEET

0 25 50 100

A horizontal scale bar with four segments. The first segment (0-25) is white, the second (25-50) is black, the third (50-75) is white, and the fourth (75-100) is black. The segments are separated by thin white lines. The numbers 0, 25, 50, and 100 are placed above the bar at their respective positions.

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SEE SHEET PS02 FOR LEGEND.



SEE SHEET PS06

SEE SHEET PS02

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LENNAR.

PLAT

CLARK FARMS
PRIMARY PLAT

ORIGINAL ISSUE: 09/06/2023
KHA PROJECT NO 170134039.3
SHEET NUMBER

PS03

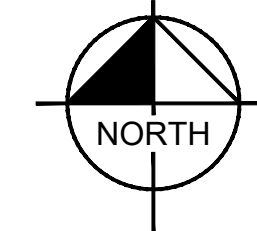
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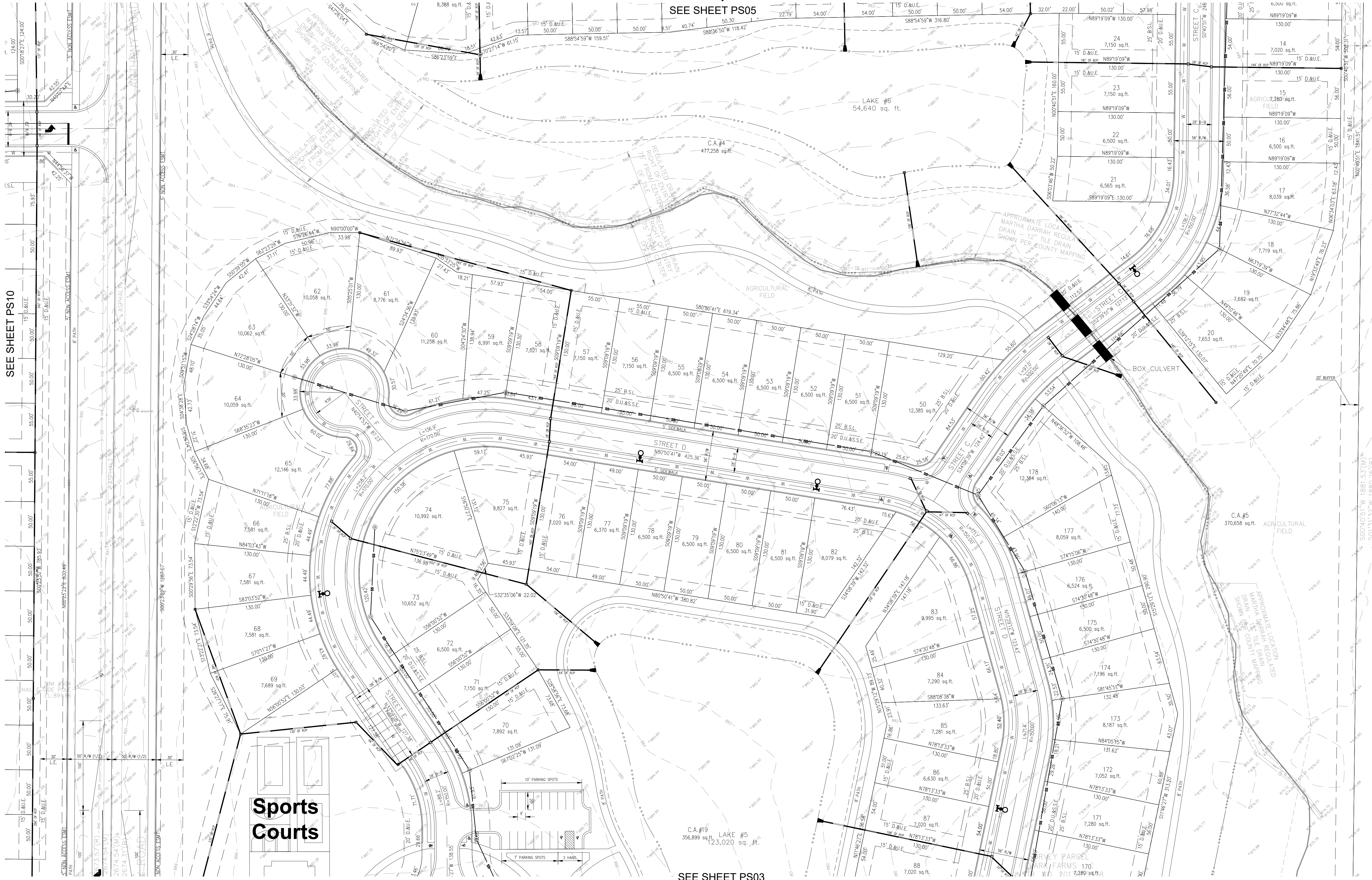
SEE SHEET PS02 FOR LEGEND.

21	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
U.E.	UTILITY EASEMENT
R/W	RIGHT OF WAY
VAR.	VARIABLE
L.E.	LANDSCAPE EASEMENT
D.E.	DRAINAGE EASEMENT
D.U.&S.S.E.	DRAINAGE UTILITY & SANITARY SEWER EASEMENT



GRAPHIC SCALE IN FEET

A horizontal scale bar with tick marks at 0, 25, 50, and 100 feet. The bar is divided into alternating black and white segments: 0-25 is white, 25-50 is black, 50-75 is white, and 75-100 is black.



SEE SHEET PS03

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PLAT

CLARK FARMS
PRIMARY PLAT

ORIGINAL ISSUE: 09/06/2023
KHA PROJECT NO. 170134039.3
SHEET NUMBER

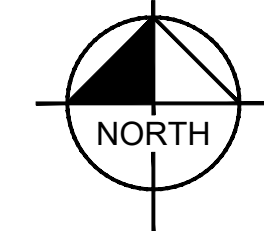
PS04

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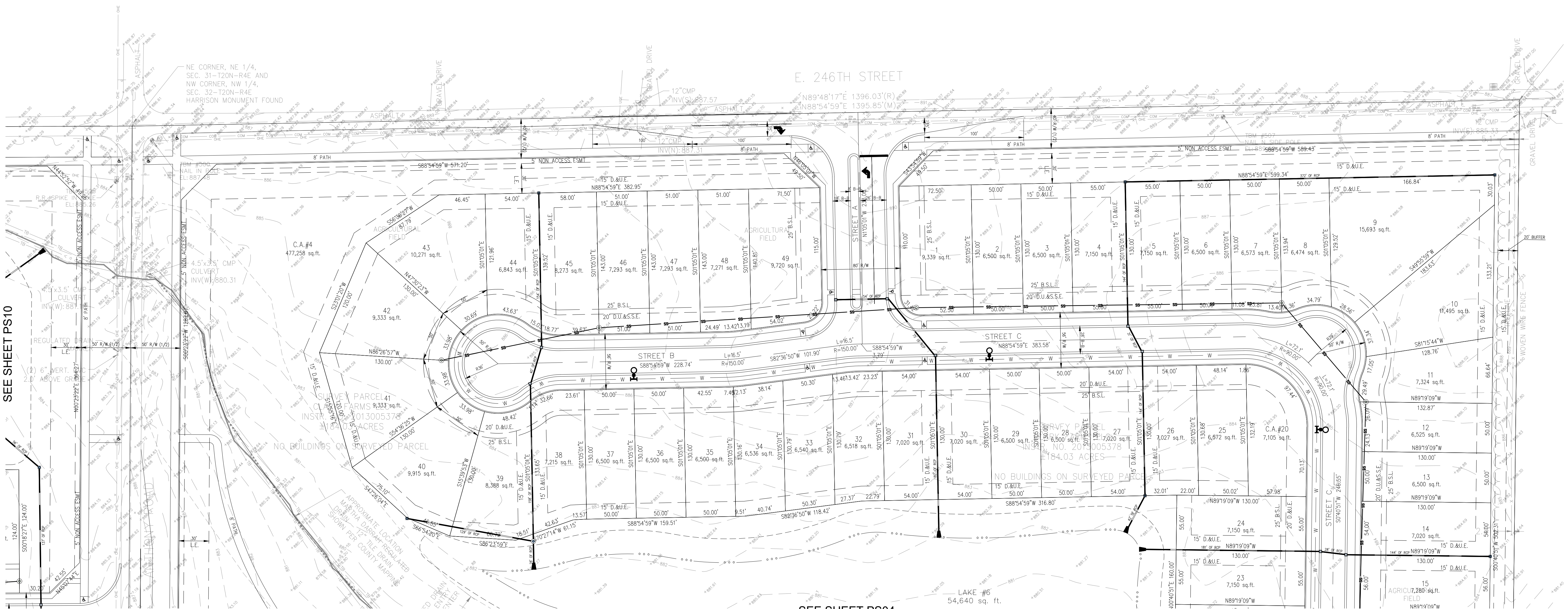
SEE SHEET PS02 FOR LEGEND.

21	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
U.E.	UTILITY EASEMENT
R/W	RIGHT OF WAY
VAR.	VARIABLE
L.E.	LANDSCAPE EASEMENT
D.E.	DRAINAGE EASEMENT
D.U.&S.S.E.	DRAINAGE UTILITY & SANITARY SEWER EASEMENT



GRAPHIC SCALE IN FEET

A horizontal scale bar with tick marks at 0, 25, 50, and 100 feet. The bar is divided into alternating black and white segments: a white segment from 0 to 25, a black segment from 25 to 50, and a white segment from 50 to 100.



SEE SHEET PS04

Kimley»»Horn

SCALE:	AS NOTED
DESIGNED BY:	GPB
DRAWN BY:	PCW
CHECKED BY:	BAH

APPROVAL PENDING
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CONSTRUCTION

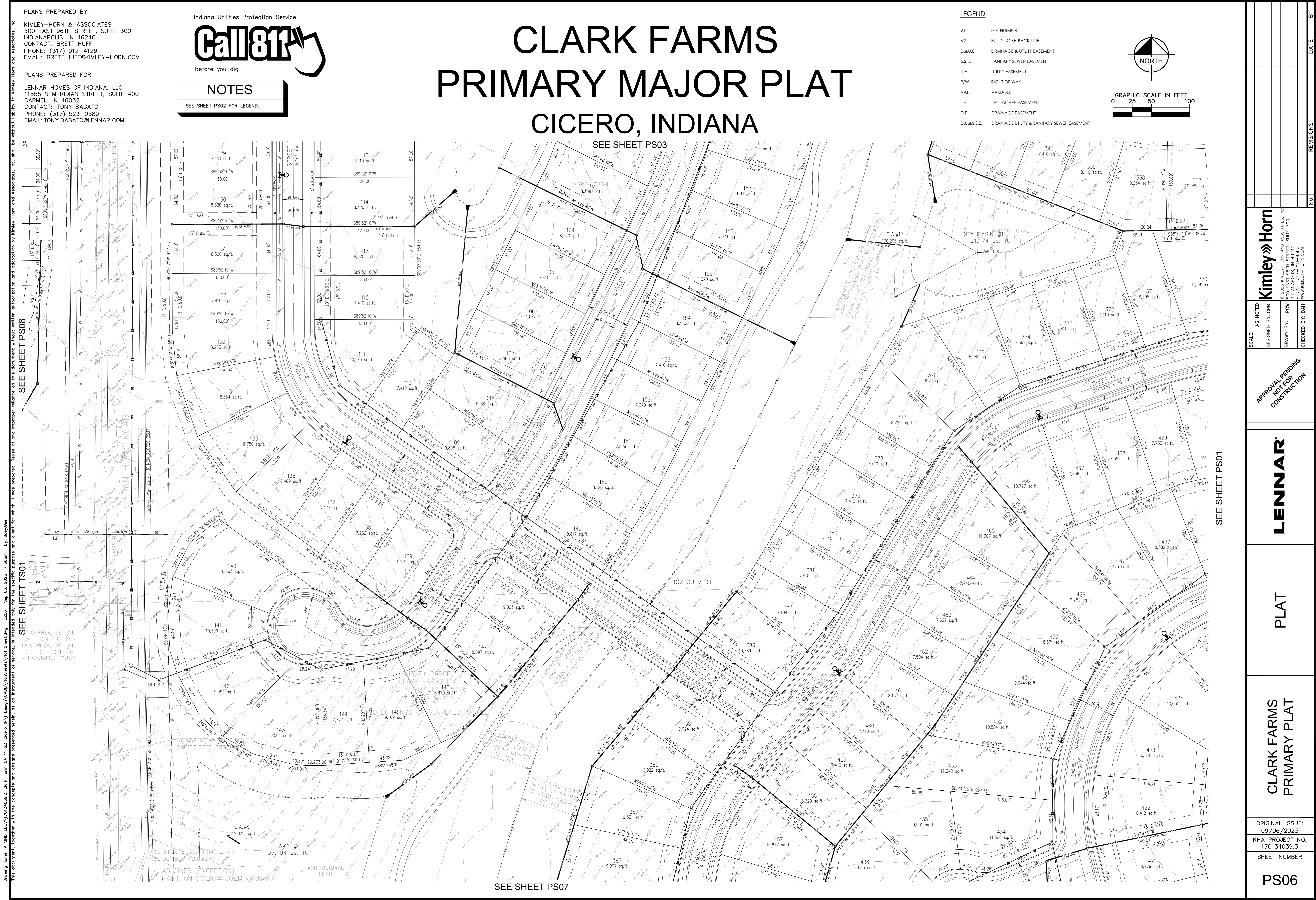
LENNAR

PLAT

CLARK FARMS
PRIMARY PLAT

ORIGINAL ISSUE:	09/06/2023
KHA PROJECT NO.	170134039.3
SHEET NUMBER	

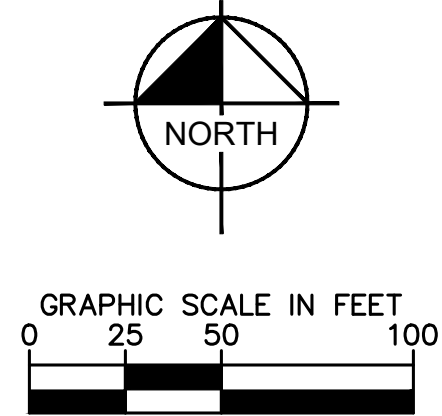
PS05



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before you dig

<u>LEGEND</u>	
21	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE
D.S.U.E.	DRAINAGE & UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
U.E.	UTILITY EASEMENT
R/W	RIGHT OF WAY
V.A.R.	VARIABLE
L.E.	LANDSCAPE EASEMENT
D.E.	DRAINAGE EASEMENT
D.U.&S.S.E.	DRAINAGE UTILITY & SANITARY SEWER EASEMENT



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SEE SHEET PS02 FOR LEGEND.



SEE SHEET PS00

PS07	SHEET NUMBER	KHA PROJECT NO. 170134039.3	ORIGINAL ISSUE: 09/06/2023	CLARK FARMS PRIMARY PLAT	PLAT	LENNAR	APPROVAL PENDING NOT FOR CONSTRUCTION	SCALE: AS NOTED DESIGNED BY: GPB DRAWN BY: PCW CHECKED BY: BAH © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 500 EAST 96TH STREET, SUITE 300, HOUSTON, TEXAS 77036 PHONE: 317-218-9560 WWW.KIMLEY-HORN.COM	Kimley»Horn © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 500 EAST 96TH STREET, SUITE 300, HOUSTON, TEXAS 77036 PHONE: 317-218-9560 WWW.KIMLEY-HORN.COM	No. _____ REVISIONS _____ DATE _____ BY _____
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EMAIL: BRETT.HUFF@KIMLEY-HORN.COM

PLANS PREPARED FOR:
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CARMEL, IN 46032
CONTACT: TONY BAGATO
PHONE: (317) 523-0589
EMAIL: TONY.BAGATO@LENNAR.COM

Indiana Utilities Protection Service



NOTES

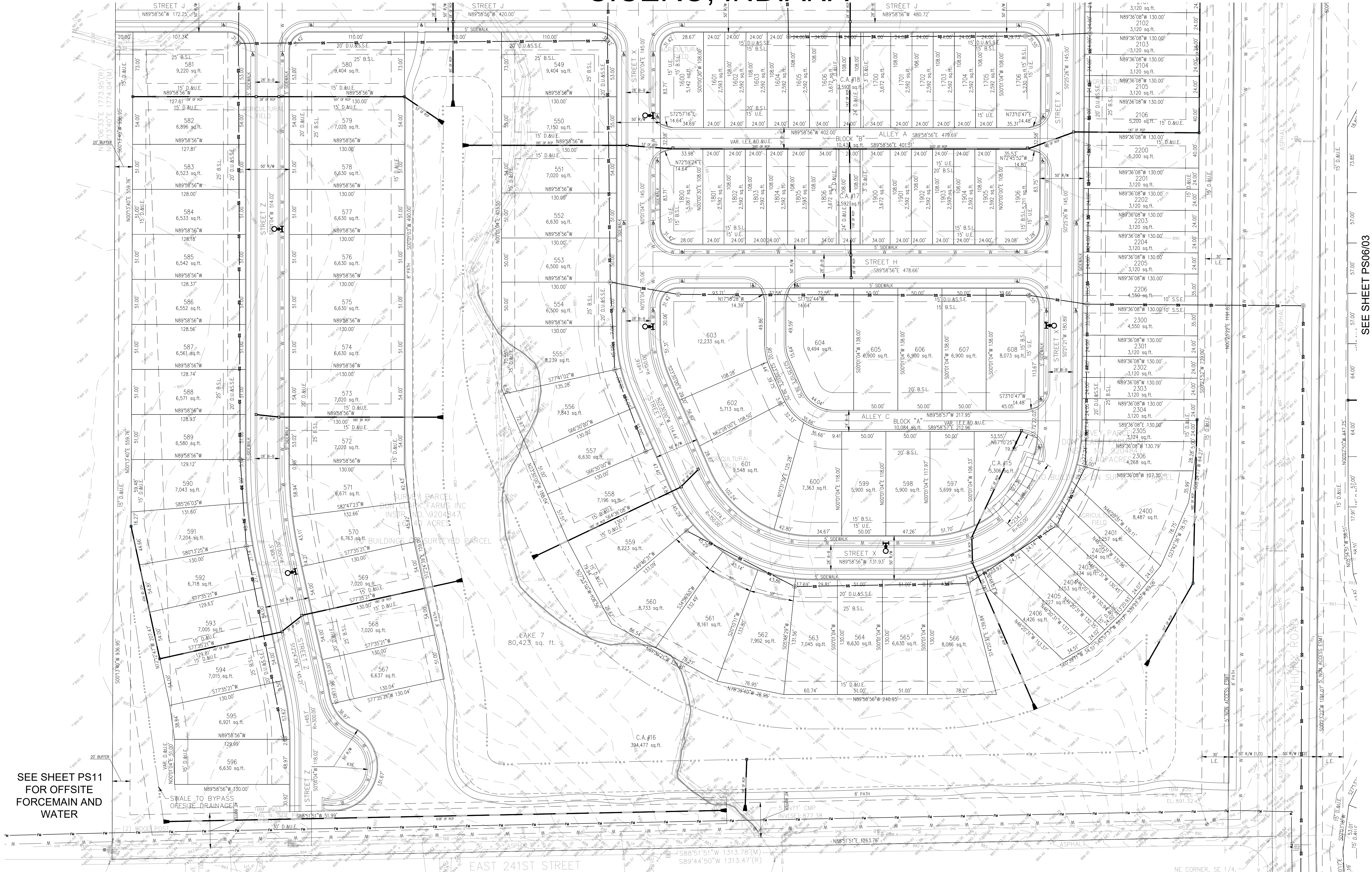
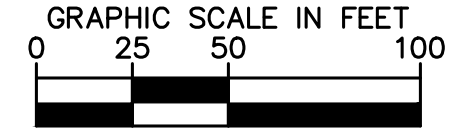
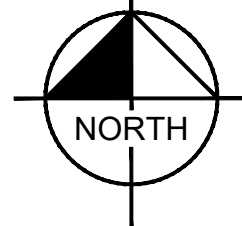
SEE SHEET PS02 FOR LEGEND.

CLARK FARMS
PRIMARY MAJOR PLAT
CICERO, INDIANA

SEE SHEET PS09

LEGEND

- 21 LOT NUMBER
B.S.L. BUILDING SETBACK LINE
D.&U.E. DRAINAGE & UTILITY EASEMENT
S.S.E. SANITARY SEWER EASEMENT
U.E. UTILITY EASEMENT
R/W RIGHT OF WAY
VAR. VARIABLE
L.E. LANDSCAPE EASEMENT
D.E. DRAINAGE EASEMENT
D.U.&S.S.E. DRAINAGE UTILITY & SANITARY SEWER EASEMENT



SEE SHEET PS11
FOR OFFSITE
FORCEMAIN AND
WATER

SEE SHEET PS06/03

REVISIONS		DATE	BY
No.			
AS NOTED			
DESIGNED BY: GPH			
DRAWN BY: PCW			
CHECKED BY: BAH			
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SCALE:			
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PLAT			
CLARK FARMS PRIMARY PLAT			
ORIGINAL ISSUE: 09/06/2023			
KHA PROJECT NO. 170134039.3			
SHEET NUMBER			
PS08			

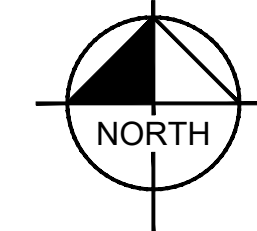
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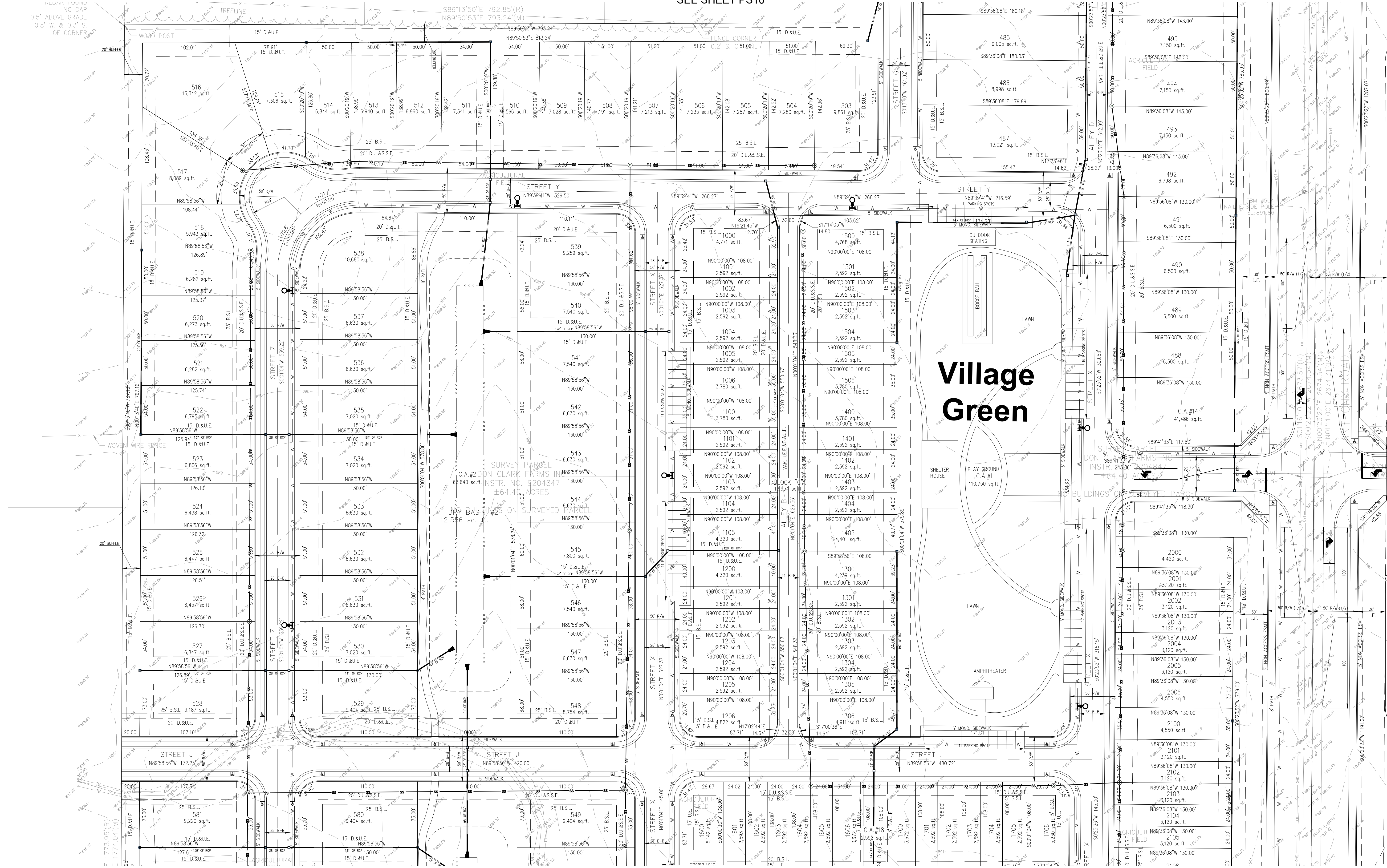
SEE SHEET PS10

21.	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
U.E.	UTILITY EASEMENT
R/W	RIGHT OF WAY
VAR.	VARIABLE
L.E.	LANDSCAPE EASEMENT
D.E.	DRAINAGE EASEMENT
D.U.&S.S.E.	DRAINAGE UTILITY & SANITARY SEWER EASEMENT



GRAPHIC SCALE IN FEET

0 25 50 100

A horizontal scale bar with four segments. The first segment (0-25) is white, the second (25-50) is black, the third (50-75) is white, and the fourth (75-100) is black. The numbers 0, 25, 50, and 100 are placed above the bar at their respective positions.

SEE SHEET PS03/04

PS09	SHEET NUMBER	CLARK FARMS PRIMARY PLAT	PLAT	LENNAR®	APPROVAL PENDING NOT FOR CONSTRUCTION	SCALE: AS NOTED DESIGNED BY: GPB DRAWN BY: PCW CHECKED BY: BAH	Kimley»Horn © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 500 EAST 96TH STREET, SUITE 300, INDIANAPOLIS, IN 46240 (317) 541-1000 WWW.KIMLEY-HORN.COM	NO	DATE	RY
	ORIGINAL ISSUE:									
	KHA PROJECT NO.									
	170134039.3									
	09/06/2023									

Drawing name: K:\INDO\DEV\170134039.3\Clark-Farm-04-11-23\Cicero_IN\1 Design\CADD\PlanSheets\Plot Sheet.dwg C210 Sep 06, 2023 7:31am By: JoyceDee
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PHONE: (317) 912-4129
EMAIL: BRETT.HUFF@KIMLEY-HORN.COM

PLANS PREPARED FOR:

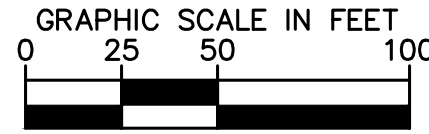
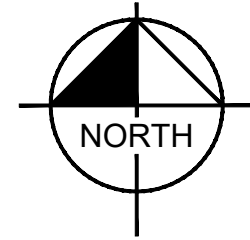
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CARMEL, IN 46032
CONTACT: TONY BAGATO
PHONE: (317) 523-0589
EMAIL: TONY.BAGATO@LENNAR.COM
NW CORNER, E 1/2, NE 1/4,
SEC. 31-T20N-R4E AND
REBAR FOUND
NO CAP
0.1' BELOW GRADE
26" S. OF CORNER

Indiana Utilities Protection Service



NOTES

SEE SHEET PS02 FOR LEGEND.



LEGEND

21	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
U.E.	UTILITY EASEMENT
R/W	RIGHT OF WAY
VAR.	VARIABLE
L.E.	LANDSCAPE EASEMENT
D.E.	DRAINAGE EASEMENT
D.U.&S.S.E.	DRAINAGE UTILITY & SANITARY SEWER EASEMENT

CLARK FARMS PRIMARY MAJOR PLAT CICERO, INDIANA

ADJOINER:
PATTY J. GARLICK
INSTR. NO. 2011015278

ADJOINER:
WILLIAM B. GOOD & KIMBERLY S. GOOD
INSTR. NO. 20200018399

ADJOINER:
DANIEL R. KNUTH & KATRINA M. KNUTH
INSTR. NO. 2022031517

ADJOINER:
PATTY J. GARLICK
INSTR. NO. 2011015278

SEE SHEET PS09

SEE SHEET PS04/05

SCALE:
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DESIGNED BY: GFB
DRAWN BY: PCW
CHECKED BY: BAH

DESIGNED BY: GFB
DRAWN BY: PCW
CHECKED BY: BAH

APPROVAL PENDING
NOT FOR
CONSTRUCTION

LENNAR

PLAT

CLARK FARMS
PRIMARY PLAT

ORIGINAL ISSUE:
09/06/2023
KHA PROJECT NO.
170134039.3

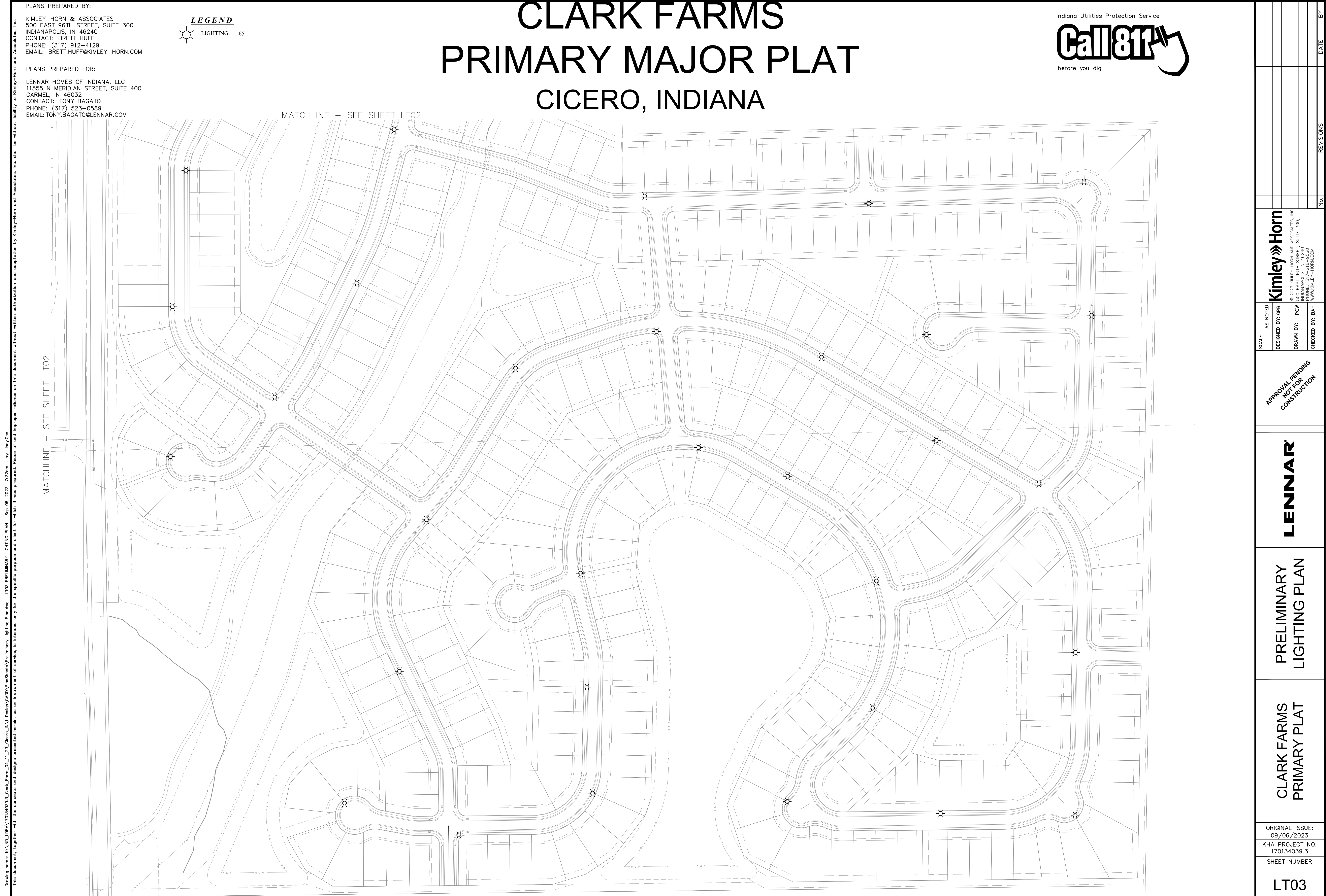
SHEET NUMBER

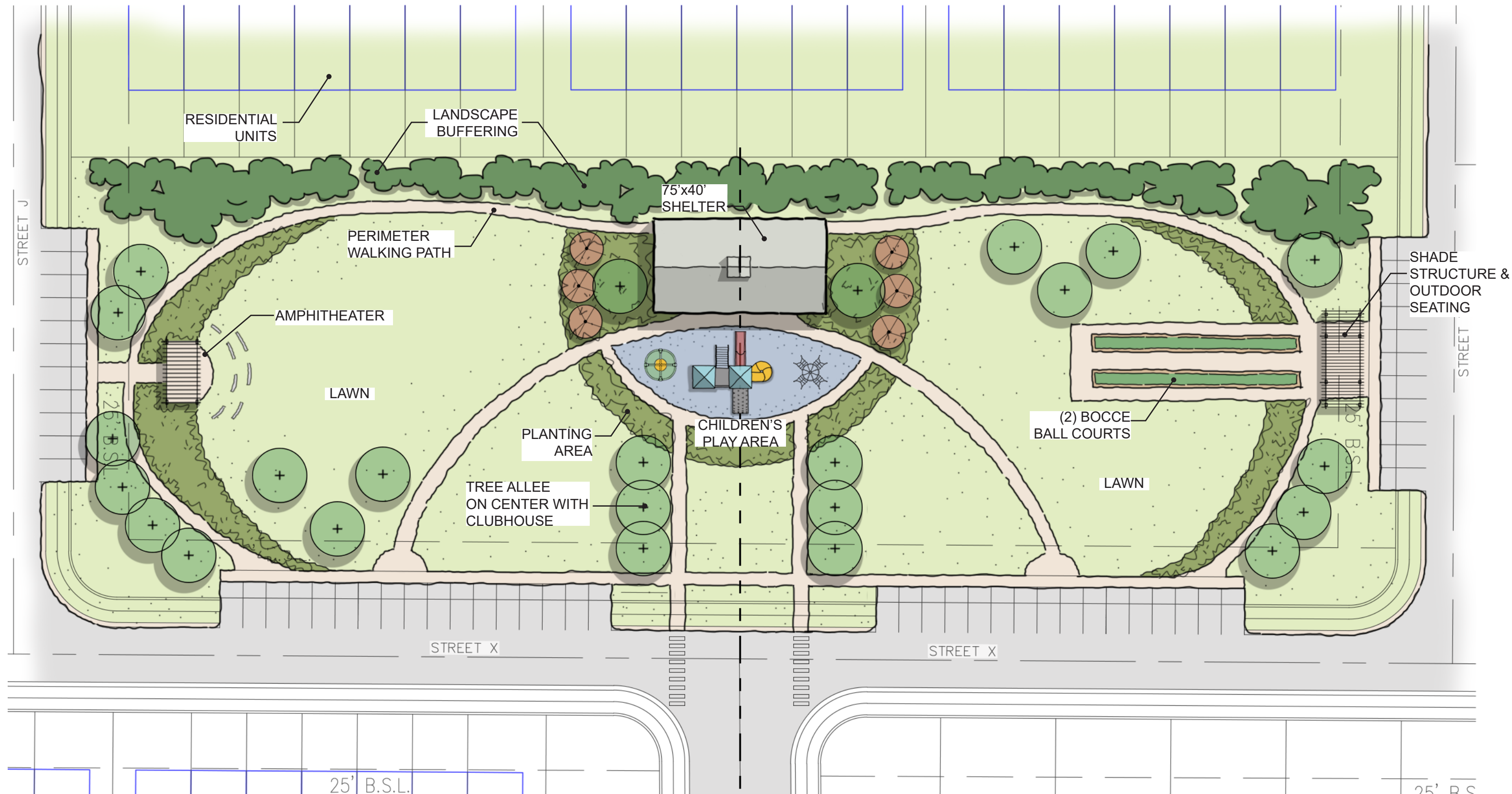
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REVISIONS

DATE

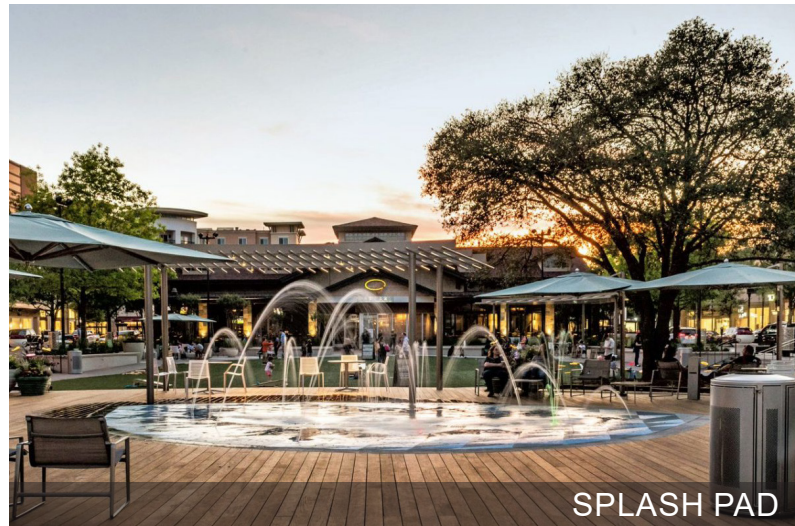
BY







CATENARY LIGHTING



SPLASH PAD



LARGE SLIDE





POOL AREA - BIRDS-EYE VIEW



POOL AREA - SPLASH PAD & KIDDIE POOL



POOL AREA - SEATING AREA WITH CATENARY LIGHTING

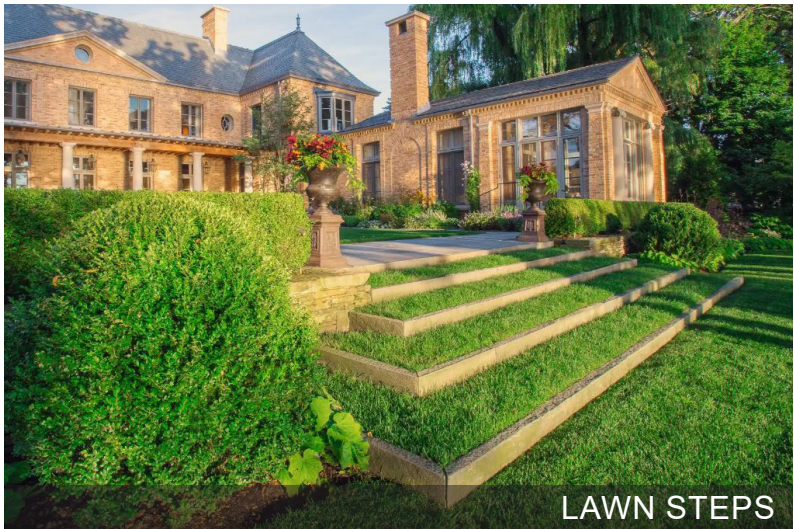




FIRE TABLE & SEATING



GRILL STATION & SHADE STRUCTURE



LAWN STEPS





CLUBHOUSE APPROACH



REAR TERRACE WITH SHADE STRUCTURE & FIRE PIT AREA



REAR TERRACE OVERLOOKING POND



SHADE TREE



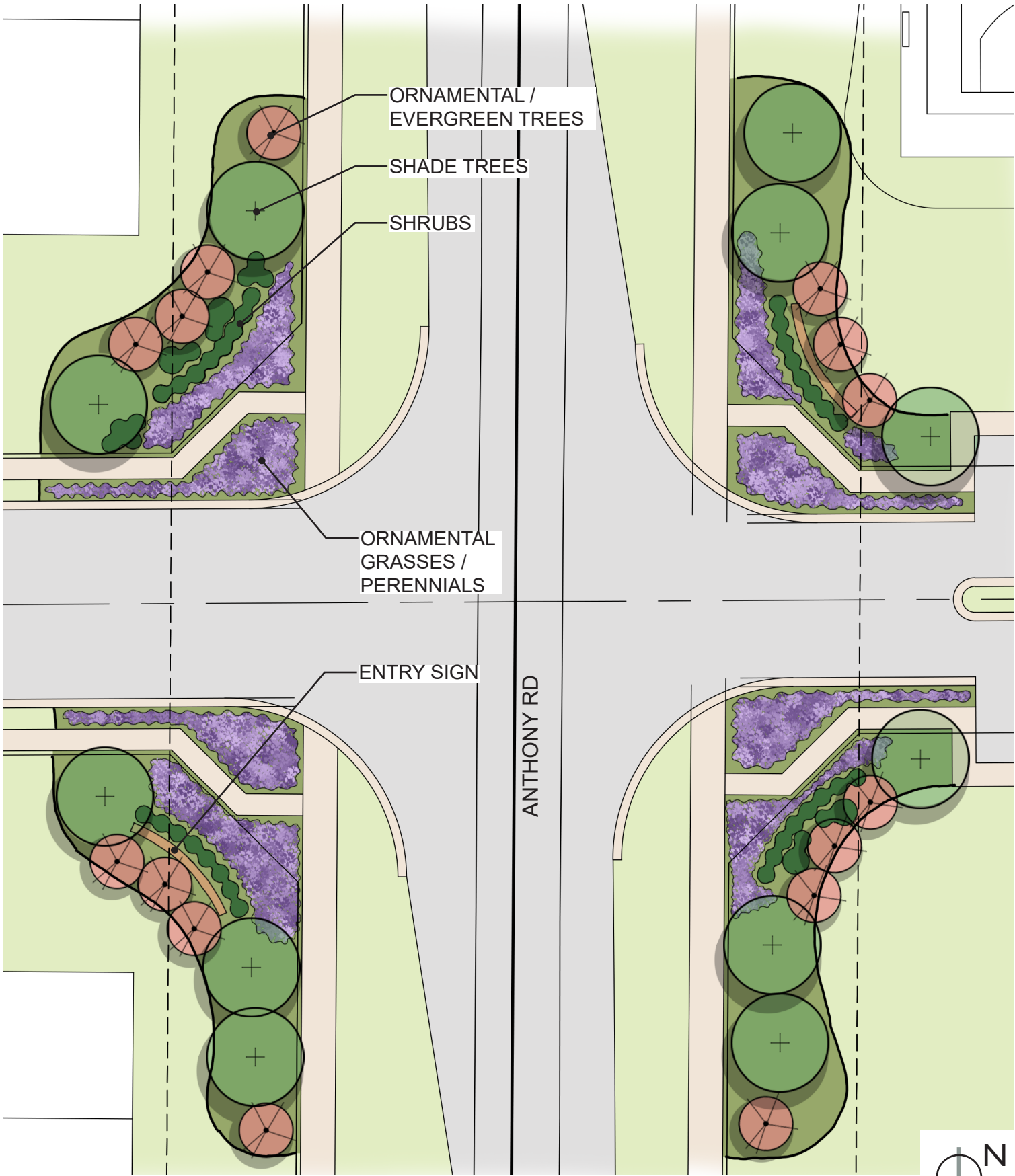
DECIDUOUS SHRUB



ORNAMENTAL TREE



ORNAMENTAL GRASS



Alan

Venture Collection

1,673 sq ft
1-story
3 beds · 2 baths
Open Layout · Walk-in Pantry
2-car garage



**EVERYTHING'S
INCLUDED®**



Elevation C



Elevation A



Elevation B

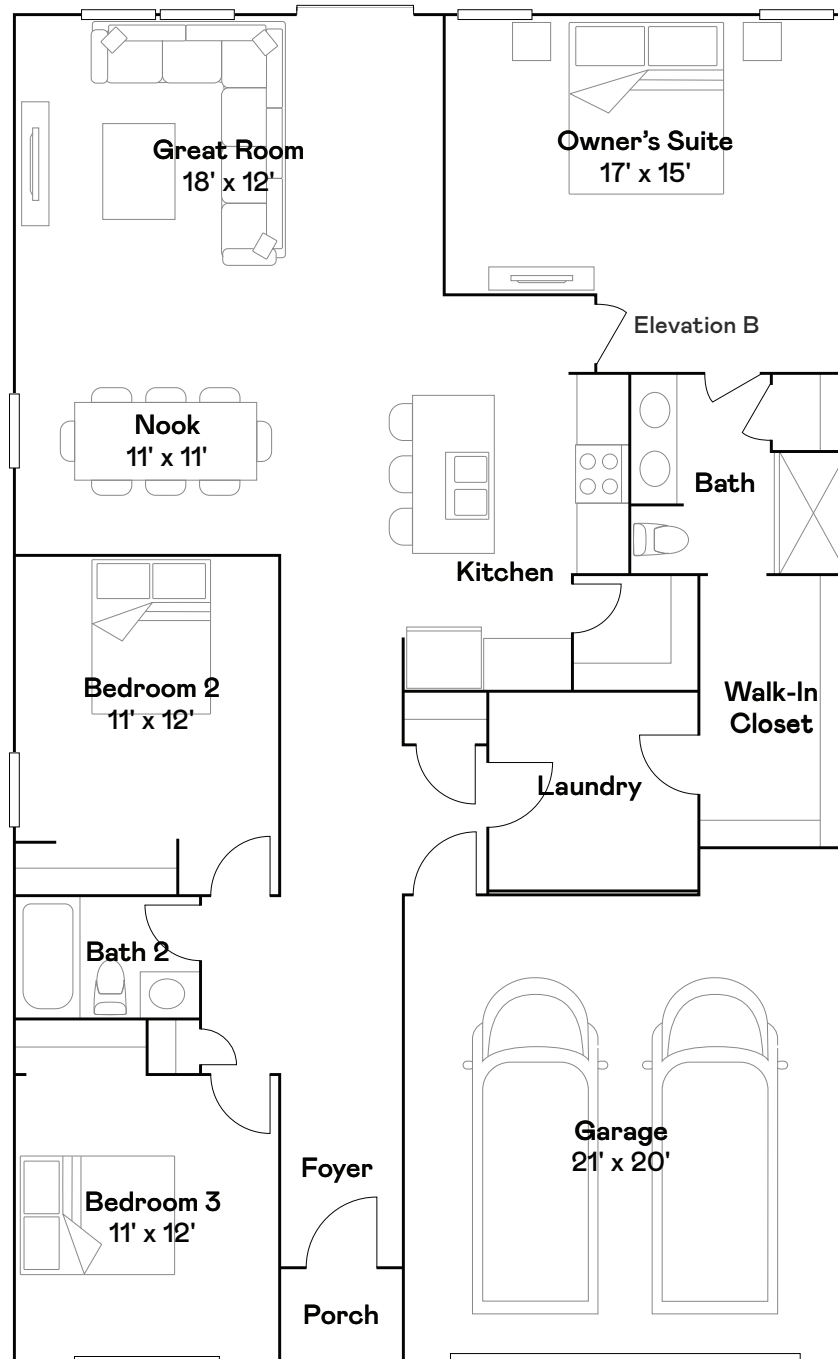
Alan

Venture Collection

1,673 sq ft
1-story
3 beds · 2 baths
Open Layout · Walk-in Pantry
2-car garage



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Aspen

Venture Collection

1,828 sq ft
2-story
4 beds · 2.5 baths
Open Layout · Large Owner's Suite
2-car garage



**EVERYTHING'S
INCLUDED®**



Elevation C



Elevation A



Elevation B

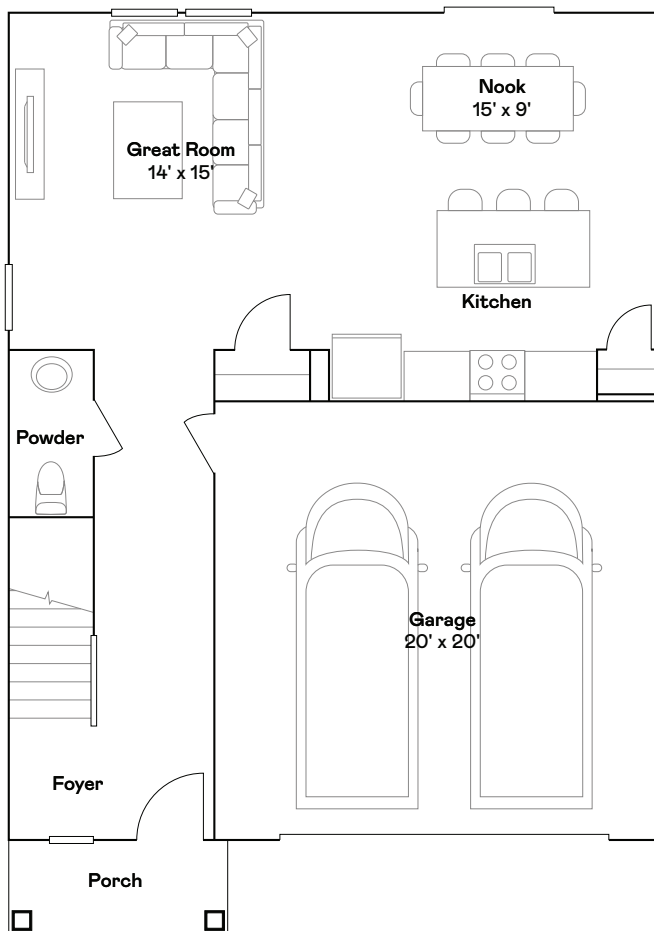
Aspen

Venture Collection

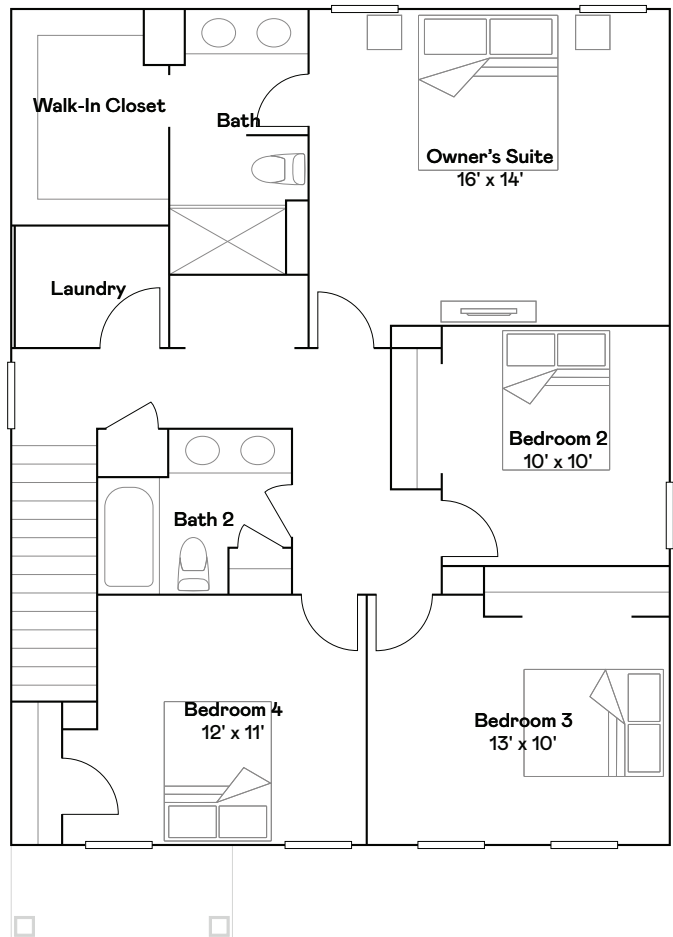
1,828 sq ft
2-story
4 beds · 2.5 baths
Open Layout · Large Owner's Suite
2-car garage



**EVERYTHING'S
INCLUDED®**



1st floor



2nd floor

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Belmont

Venture Collection

2,043 sq ft
2-story
3 beds · 2.5 baths
Open Layout · Loft
2-car garage



Elevation C



Elevation A



Elevation B

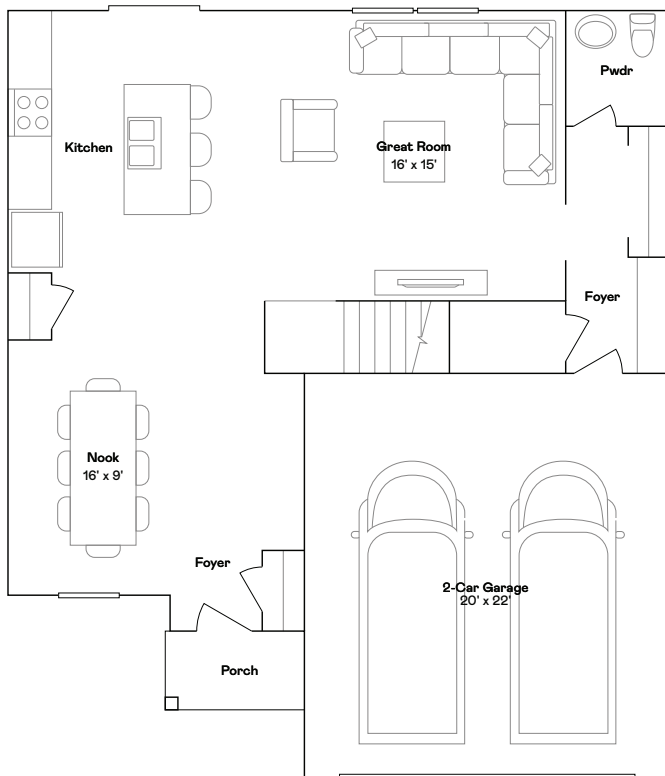
Belmont

Venture Collection

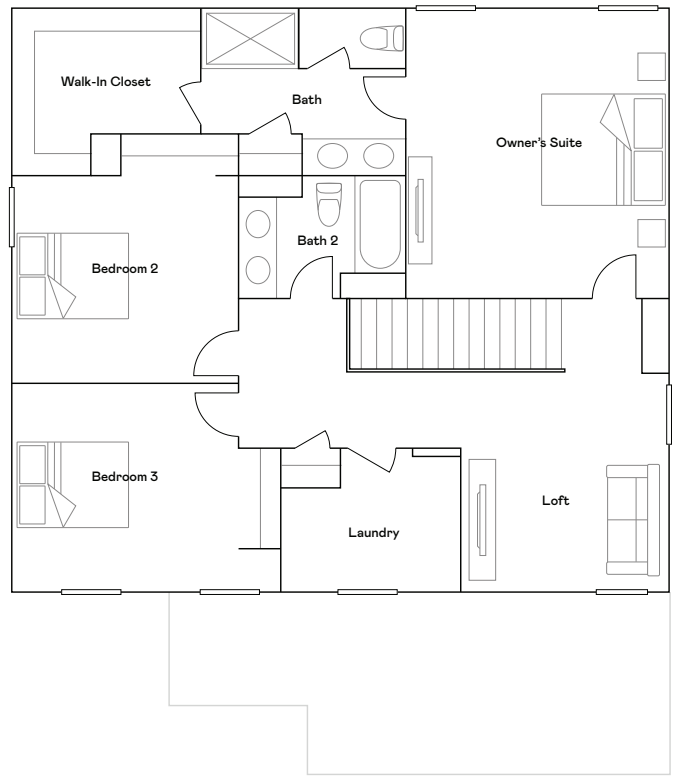
2,043 sq ft
2-story
3 beds · 2.5 baths
Open Layout · Loft
2-car garage



**EVERYTHING'S
INCLUDED®**



1st floor



2nd floor

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Broadmoor

Venture Collection

2,011 sq ft
2-story
4 beds · 2.5 baths
Open Layout · Loft
2-car garage



**EVERYTHING'S
INCLUDED®**



Elevation C



Elevation A



Elevation B

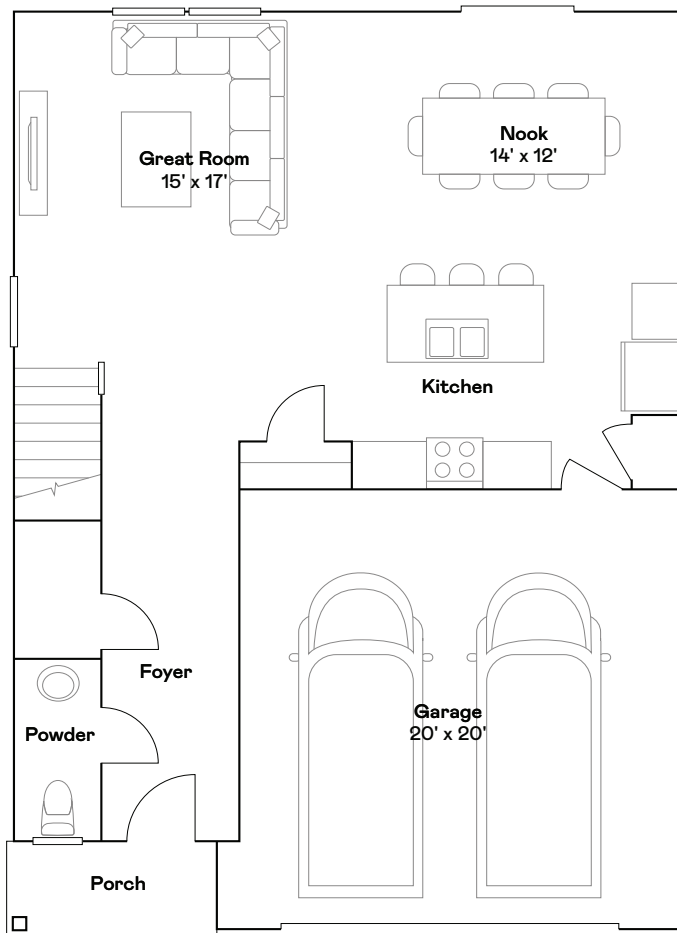
Broadmoor

Venture Collection

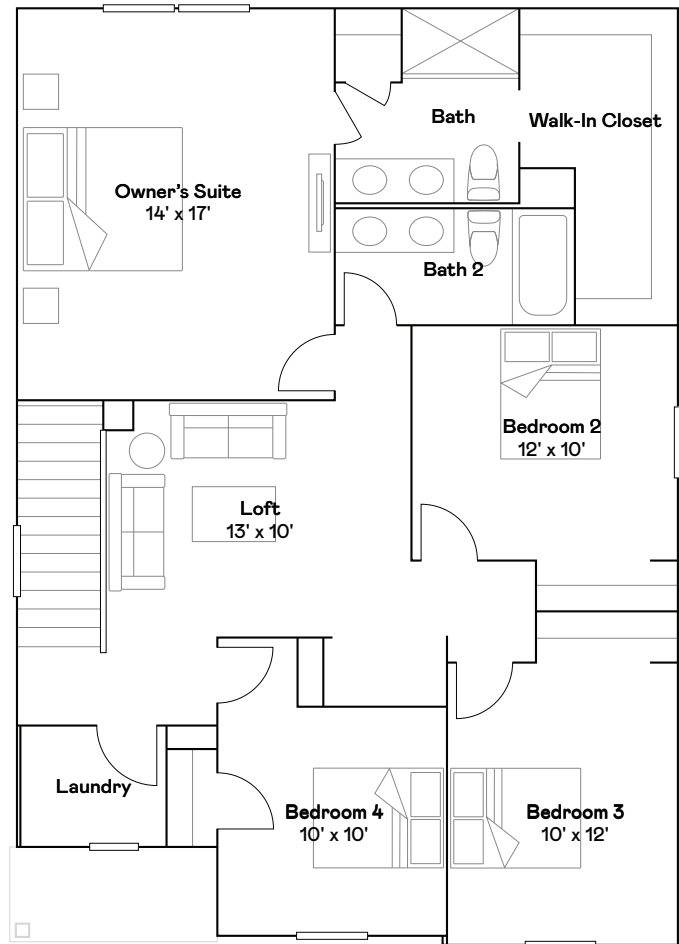
2,011 sq ft
2-story
4 beds · 2.5 baths
Open Layout · Loft
2-car garage



**EVERYTHING'S
INCLUDED®**



1st floor



2nd floor

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Chartwell

Heritage Collection

2,099 sq ft
1-story
3 beds · 2.5 baths
Open Layout · Fireplace
2-car rear garage



**EVERYTHING'S
INCLUDED®**



Elevation C



Elevation A



Elevation B

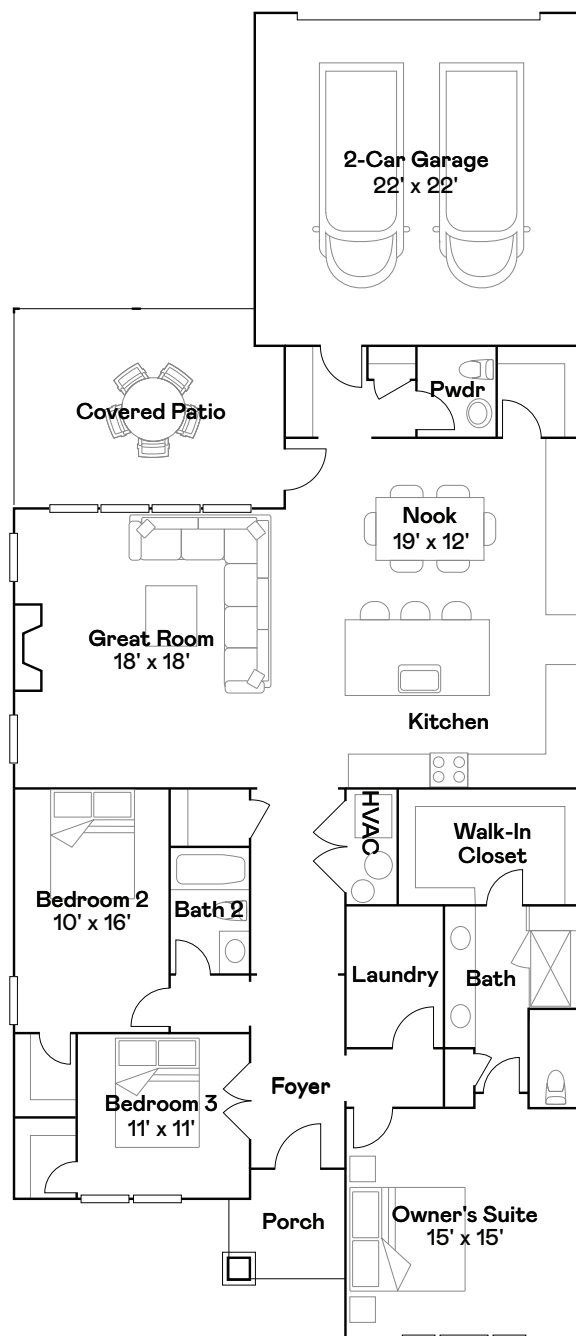
Chartwell

Heritage Collection

2,099 sq ft
1-story
3 beds · 2.5 baths
Open Layout · Fireplace
2-car rear garage



**EVERYTHING'S
INCLUDED®**



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LENNAR®

Clarence

Carriage Collection

1,567 sq ft
1-story
3 beds · 2 baths
Open Layout · Walk-in Pantry
2-car garage



**EVERYTHING'S
INCLUDED®**



Elevation C



Elevation A



Elevation B

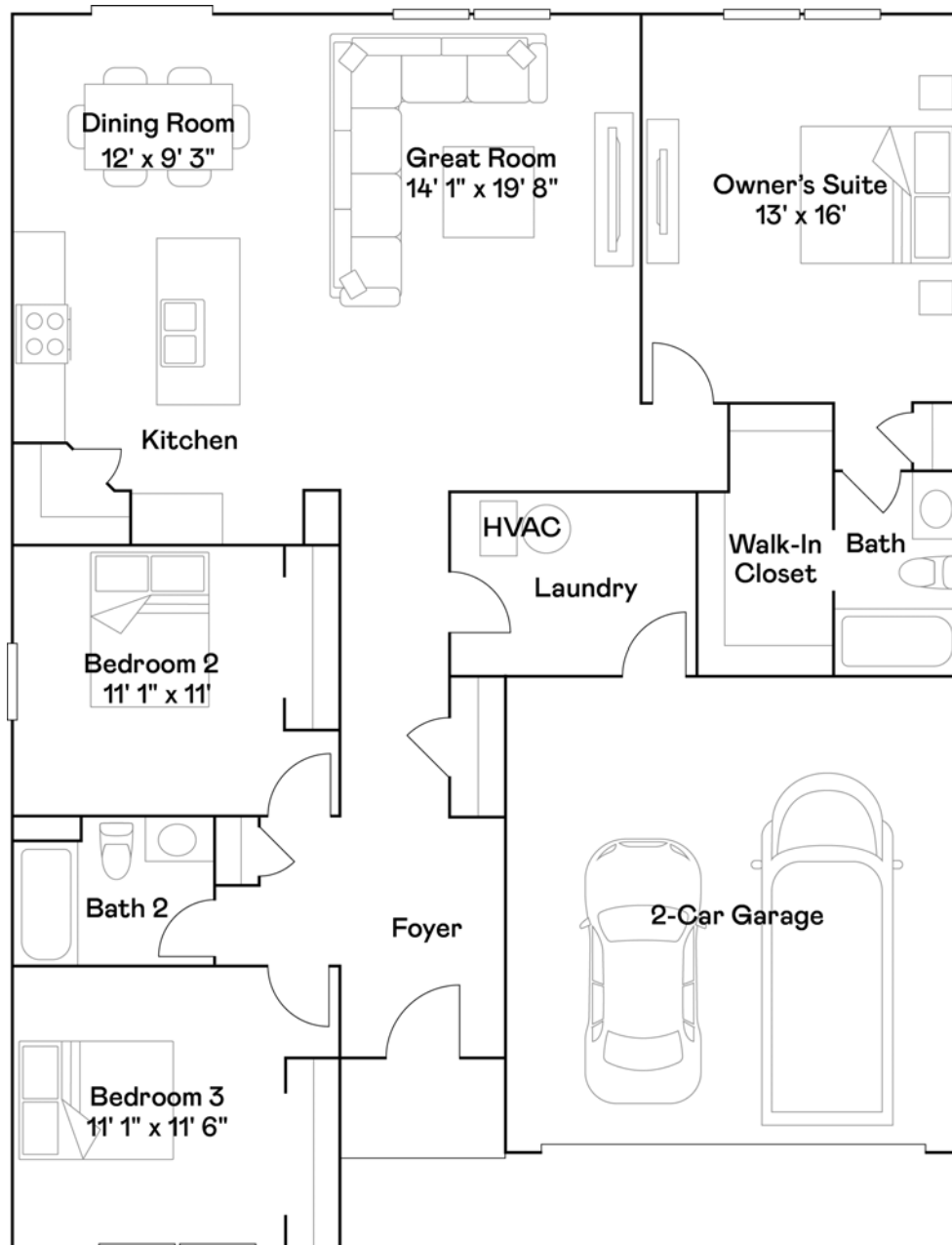
Clarence

Carriage Collection

1,567 sq ft
1-story
3 beds · 2 baths
Open Layout · Walk-in Pantry
2-car garage



**EVERYTHING'S
INCLUDED®**



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ORDINANCE NUMBER __-__

**AN ORDINANCE OF THE TOWN OF CICERO AND JACKSON TOWNSHIP,
HAMILTON COUNTY, INDIANA CONCERNING AMENDMENT TO
THE UNIFIED DEVELOPMENT ORDINANCE**

This is a Planned Development District Ordinance (to be known as the “Clark Farms”) to amend the Zoning Ordinance of the Town of Cicero and Jackson Township, Hamilton County, Indiana (the "Zoning Ordinance"), enacted by the Town of Cicero pursuant to its authority under the laws of the State of Indiana, Ind. Code § 36-7-4 et seq., as amended.

WHEREAS, the Town of Cicero, Indiana (the "Town") and the Township of Jackson, both of Hamilton County, Indiana are subject to the Zoning Ordinance;

WHEREAS, the Cicero/Jackson Township Advisory Plan Commission (the "Commission") considered a petition (**Petition No.** _____), requesting an amendment to the Zoning Ordinance and the Zoning Map for real estate more particularly described in **Exhibit A** attached hereto (the "Real Estate");

WHEREAS, the Commission forwarded **Petition No.** _____ to the Town Council of the Town of Cicero, Hamilton County, Indiana (the "Town Council") with a _____ recommendation (_ - _) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code § 36-7-4-1505;

WHEREAS, the Secretary of the Commission certified the action of the Commission to the Common Council on _____, 2023;

WHEREAS, the Town Council is subject to the provisions of the Indiana Code §36- 7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and

NOW, THEREFORE, BE IT ORDAINED by the Town Council of the Town of Cicero, Hamilton County, Indiana, meeting in regular session, that the Zoning Ordinance and Zoning Map are hereby amended as follows:

Section 1. Applicability of Ordinance.

- 1.1 The Zoning Ordinance and Zoning Map are hereby changed to designate the Real Estate as a Planned Unit Development District to be known as the “Clark Farms Planned Development District” (the “District”).
- 1.2 Development of the Real Estate shall be governed by (i) the provisions of this Ordinance (the “Clark Farms Ordinance”) and its exhibits, and (ii) the provisions of the Zoning Ordinance, as amended and applicable to the R4 Underlying Zoning District or a Planned Development District, except as modified, revised, supplemented, or expressly made inapplicable by this Clark

Farms Ordinance.

- 1.3 Chapter (“*Chapter*”) and Article (“*Article*”) cross-references of this Clark Farms Ordinance shall hereafter refer to the section as specified and referenced in the Zoning Ordinance.
- 1.4 All provisions and representations of the Zoning Ordinance that conflict with the provisions of this Clark Farms Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Clark Farms Ordinance.

Section 2. **Preliminary Development Plan.** The Preliminary Development Plan, attached hereto as **Exhibit B**, is hereby incorporated in accordance with Article 8, Planned Development Districts; PD District Ordinance Requirements; Concept Plan.

- 2.1 The Concept Plan shall include three (3) “Areas” identified on the concept plan as “Area A”, “Area B” and “Area C”. The three (3) Areas are established for the designation of locations on the Real Estate where Single-family, Two-Family and Townhome uses are permitted per the terms of Section 4.1 Permitted Uses of this Clark Farms Ordinance.
- 2.2 The purpose of the Areas designated on the Concept Plan is to provide flexibility in the development of the land over time promoting a harmonious variety of uses (all residential) and foster the creation of attractive, efficient and stable environment for the Real Estate. Providing development Areas will encourage innovations in land development techniques so that the growing demands of the community may be met with greater flexibility, variety in type and design of the proposed mix in residential product types. This will encourage a more efficient use of land so that resulting economies may accrue to the benefit of the community. Examples of this include the preservation of the existing legal drain corridor, trees or wetlands, and the inclusion of recreation areas within new subdivisions.
- 2.3 The Final Development Plan(s) and Primary Plat(s) may be amended in the future with the approval of the Plan Commission at a Public Hearing. An amendment shall be required to permit a change to the designated home product type identified on the Final Development Plan / Primary Plat. The Plan Commission shall approve, amend, or disapprove an amended Final Development Plan / Primary Plat upon an affirmative finding that the amended Final Development Plan / Primary Plat is in compliance with the standards of this Clark Farms Ordinance.

Section 3. **Underlying Zoning District(s).** The Underlying Zoning District shall be the R4: Single Family Residential District for Residential purposes.

Section 4. **Permitted Uses.** The permitted uses shall be as set forth below.

- 4.1 All uses permitted in the Underlying Zoning District.

- 4.2 The following uses shall be permitted within each area of the Areas:
- A. Dwelling, Single-Family shall be permitted in Area A, Area B and Area C.
 - B. Dwelling, Two-Family shall only be permitted in Area C.
 - C. Dwelling, Multifamily (limited to Townhomes only – a building including a maximum of eight (8) dwellings, aligned horizontally, per building) shall only be permitted in Area B.
- 4.3 Maximum Dwellings. The total number of Dwellings permitted in the District shall not exceed seven hundred and twenty (720).

Section 5. **General Regulations.** The standards of Article 3.10: R4 Zoning Districts, as applicable to the Underlying Zoning District, and Article 8.1 PD Miscellaneous Standards shall apply to the development of the District, except as otherwise modified below.

- 5.1 District Standards based on Dwelling type shall be as follows:

Standard - Dwelling, Single Family - Front Loaded	
*Minimum Lot Area:	6,000 SF
Minimum Lot Width:	50'
Maximum Lot Depth:	Not Applicable
Minimum Lot Frontage:	30'
Minimum Front Yard:	25'
**Minimum Side Yard:	8'
Rear Yard:	25'
Minimum Living Area:	
One-Story	1,600 SF
Two-Story 1st Floor	650 SF
Two-Story Total Floor Area	1,800 SF
Maximum Lot Coverage:	60%
Maximum Building Height:	35'
<i>* A Minimum Lot Area (per dwelling Unit) of 15,000 square feet shall apply to the overall Real Estate.</i>	
<i>** One (1) foot encroachment shall be permitted for eaves and masonry/brick wainscot on the façade.</i>	

Standard - Dwelling, Single Family - Alley Loaded	
*Minimum Lot Area:	5,000 SF
Minimum Lot Width:	50'
Maximum Lot Depth:	Not Applicable
Minimum Lot Frontage:	30'
Minimum Front Yard:	15'
**Minimum Side Yard:	8'
Minimum Rear Yard:	15'
Garage Setback (From Pavement):	20'
Minimum Living Area:	
One-Story:	1,400 SF
Two-Story 1st Floor Area	650 SF
Two-Story Total Floor Area	1,600 SF
Maximum Lot Coverage:	Not Applicable
Maximum Building Height:	35'
<i>* A Minimum Lot Area (per dwelling Unit) of 15,000 square feet shall apply to the overall Real Estate.</i>	
<i>** One (1) foot encroachment shall be permitted for eaves and masonry/brick wainscot on the façade.</i>	

Standard - Dwelling, Two-Family Attached	
*Minimum Lot Area:	3,000 SF
Minimum Lot Width:	30'
Maximum Lot Depth:	Not Applicable
Minimum Lot Frontage:	25'
Minimum Front Yard	20'
**Minimum Street Side Yard Setback:	8'
**Minimum Distance Between Buildings:	15'
Minimum Rear Yard:	15'
Minimum Living Area (Per Unit):	
One-Story	1,200 SF
Two-Story 1st Floor Area	650 SF
Two-Story Total Floor Area	1,400 SF
Maximum Lot Coverage:	70%
Maximum Building Height:	35'
<i>* A Minimum Lot Area (per dwelling Unit) of 15,000 square feet shall apply to the overall Real Estate.</i>	
<i>** One (1) foot encroachment shall be permitted for eaves and masonry/brick wainscot on the façade.</i>	

Standard - Dwelling, Townhome Attached	
*Minimum Lot Area:	2,000 SF
Minimum Lot Width:	20'
Maximum Lot Depth	Not Applicable
Minimum Lot Frontage:	15'
Minimum Front Yard	15'
**Minimum Street Side Yard Setback:	8'
**Minimum Distance Between Buildings	15'
Minimum Rear Yard	15'
Garage Setback (From Pavement)	20'
Minimum Living Area:	
Two-Story 1st Floor	600 SF
Two-Story Total Floor Area	1,400 SF
Maximum Lot Coverage:	75%
Maximum Building Height:	35'
<i>* A Minimum Lot Area (per dwelling Unit) of 15,000 square feet shall apply to the overall Real Estate.</i>	
<i>** One (1) foot encroachment shall be permitted for eaves and masonry/brick wainscot on the façade.</i>	

5.2 Water and Sewer utilities shall be required for all Dwellings.

Section 6. Development Standards (Additional Standards that Apply per Section 3.10 “R4” District). The District’s infrastructure shall comply with the Town of Cicero and Jackson Township Subdivision Control Ordinance, (the “Subdivision Ordinance”), and the Hamilton County Highway Department Construction Standards (the “Construction Standards”), except as modified below or unless otherwise approved by the Plan Commission or Engineer of jurisdiction in consideration to the preservation of the natural topography and environment and in consideration to the unique design intent on the District. Where conflicts exist between the Subdivision Ordinance and Construction Standards, development of the real estate shall comply with the terms of the Hamilton County Highway Department Construction Standards.

- A. All streets within the Real Estate shall have 5-foot-wide sidewalks on both sides of the street.
- B. Perimeter Streets including 246th Street, 241st Street, and Anthony Road shall include an eight (8) foot wide pedestrian path along the side of the subject street/road in the public right-of-way adjacent to the Real Estate.
- C. Additional asphalt pedestrian trails with a minimum width of eight (8) feet

shall be provided as generally located on the last page of **Exhibit E**.

- D. Lighting: All site lighting shall comply with Article 7.12 of the Zoning Ordinance.
- E. Parking and Driveways:
- i. Parking shall be permitted and restricted to one side of all streets internal to the subdivision including signage where parking is not permitted. Unless otherwise required by the United States Postal Service, developer shall install all mailboxes on the opposite side of the street.
 - ii. Article 7.13 of the Zoning Ordinance as applicable to the Underlying Zoning District shall apply.
 - iii. Article 7.15 shall not apply to individual residential driveways.
- F. Home Occupations: Home Occupations shall be permitted per the terms of Article 7.19 of the Zoning Ordinance.
- G. Fences: Fences on individual residential lots shall comply with Article 7.21 of the Zoning Ordinance.
- H. Open Space: The Concept Plan is hereby incorporated to illustrate conceptually the anticipated open space design on the Real Estate. The final open space design may vary from the Concept Plan.
- I. Amenities: Amenities shall be provided in the general location as illustrated on the Concept Plan attached hereto as **Exhibit B**.
- i. The Amenities shall be consistent with the quality and character of those shown in **Exhibit E**, attached hereto.
 - ii. Amenities shall include the following, at a minimum:
 - Community Center building with a minimum of 5,000 square feet.
 - Perimeter trails including connections to internal sidewalks.
 - Aquatic Center that shall include at a minimum: Family Pool, Lap Pool and Kiddie Pool.
 - Sports courts that shall include four (4) courts that may include Basketball, Tennis and/or Pickle Ball.
 - Village Green that may include, Bocce Ball, Putting Green, Picnic Shelter, and a Playground.

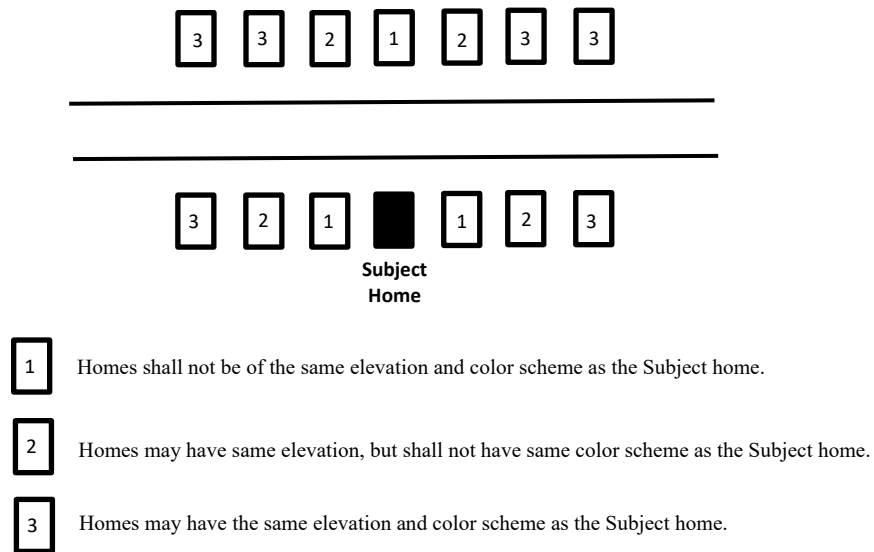
- iii. The construction of the amenity building, sports courts and aquatic facility shall be under construction prior to the issuance of the three hundred and fifty (350) building permit.
- J. Dwelling Orientation: All dwellings on lots on the west side of Anthony Road with front yards oriented toward the street shall include garages that face internal to the Real Estate and not toward Anthony Road. This will result in the front of dwelling facing Anthony Road.
- K. Two (2) entry monument signs will be allowed at each entrance of the subdivision.

Section 7. **Architectural Standards:** Residential Design Standards of Article 7.22 of the Zoning Ordinance shall be required unless otherwise specified below:

- A. The primary roof overhang or eaves shall be a minimum of eleven (11) inches, as measured prior to the installation of Masonry Materials.
- B. The main roof pitch of 6:12 is required. The minimum roof pitch for a secondary roof is 5:12.
- C. Minimum of a masonry (brick or stone) wainscot up to the sill of the lowest first floor window on a minimum of 90% of the front façade length (less doors – garage and entry). Modifications of the masonry requirement can be reduced based on the architectural style of homes as represented in the Character Exhibits attached as **Exhibit C** and **Exhibit D** of this ordinance.
- D. All siding in the District shall be either Wood, Fiber Cement Board or vinyl with a minimum thickness of .044”. Vinyl siding shall have textured surface to have an appearance of wood or similar architectural detail.
- E. All homes shall have photo-cell dusk to dawn light on either side of the garage door.
- F. Gutters and downspouts are required.
- G. Exterior chimney chase shall be framed and enclosed by either the primary siding material of the residence or masonry. No exposed metal chimney chase conduit shall be permitted. Furnace and vent stacks through the roof are permitted.
- H. The Character Exhibits, attached hereto as **Exhibit C** and **Exhibit D**, are hereby incorporated as a compilation of images intended to represent the architecture of dwellings that could be constructed in the District. It is not the intent to limit the architecture shown in the Character Exhibits, but to encourage a diversity in architecture within the District.

- I. Rear Elevation Enhancements: Any home with a rear facing elevation along Anthony Road shall contain at least one (1) of the following: (i) four-sided masonry wainscot up to the sill of the lowest first floor window, (ii) screened-in porch, (iii) three seasons room, (iv) morning room, or (v) rear covered porch.
- J. Single-Family Detached Dwellings of the same elevation and color scheme shall not be permitted next to or directly across the street from each other. Additionally, home color scheme may not be repeated for two (2) homes on either side of the subject home and also the (3) homes directly across the street.

The exhibit below provides an illustration of this requirement.



- K. All homes shall include dimensional grade shingles.
- L. Approval of Dwelling Elevations. The Developer or builder shall submit to the PUD Committee detailed elevations of the proposed Dwelling including material specifications, and a spreadsheet indicating compliance with Design Standards set forth in Section 7 of this Clark Farms Ordinance as well as the applicable Design Standards set forth in 3.8 of the Zoning Ordinance (collectively, the elevations, specifications and spreadsheet are the “Plan Submitted Documents”). The Committee shall consist of the following three (3) people: 1. The Plan Commission President; 2. A Town Council Member; and 3. The Planning Director. The PUD Committee shall have five (5) business days in which to review the Plan Submitted Documents, and either approve or reject same. If the PUD Committee rejects the Plan Submitted Documents, it shall provide the Developer or builder with specific reasons for such denial. The Developer/builder may then make changes to the Plan Submitted Documents and resubmit same to the PUD Committee. If the Developer/builder disagrees with the PUD Committee’s denial of the Plan Submitted Documents, it may appeal such denial to the Cicero/Jackson Township Plan Commission, whose decision shall be final. The basis for approval or denial of Plan Submitted Documents pursuant to this Section shall be whether or not said Plan

Submitted Documents meet the requirements of Section 7 of this Clark Farms Ordinance, as the case may be, and applicable requirements of Section 3.8 of the Zoning Ordinance.

Section 8. **Landscaping Requirements:**

- A. Lot Landscaping: In lieu of the landscaping standards set forth in Article 7.7 of the Zoning Ordinance, each dwelling shall have two (2) trees located within the front yard in addition to eight (8) shrubs. Trees shall be a minimum of 2.5 inch caliper and shrubs shall be 18” tall.
- B. Corner Lots: Each side yard abutting a public street shall have two (2) trees of 2 ½” caliper.
- C. Front yards shall be sodded, and side and rear yards shall be seeded. Side yards of homes on corner lots adjacent to street shall be sodded.
- D. Perimeter Common Area Landscaping: There shall be a minimum twenty (20) foot wide Common Area provided along the shared property line along the non-street frontage perimeter of the Real Estate. Existing trees along fence rows within this area shall remain and be avoided. Drainage infrastructure, right-of-way dedication and utility installation may require removal of trees and shall supersede this standard. Six (6) trees shall be provided per 100’ (2 shade and 4 evergreen planted within 5’ of the property line) in areas where lots are within 100’ of the perimeter of the Real Estate.
- E. Perimeter Street Landscaping:
 - i. The perimeter streets of the District shall be landscaped with a minimum of four (4) evergreen and two (2) ornamental trees for each 100 linear feet of perimeter road frontage along 246th Street, Anthony Road, and 241st Street. Dead or dying trees and underbrush along the perimeter road frontage shall be removed during the initial development. Article 7.8 of the Zoning Ordinance shall not apply.
 - ii. A 3’-4’ tall landscape mound shall be installed in the common area along the perimeter road frontage along 246th Street, Anthony Road, and 241st Street where lots are within one hundred (100) feet of the perimeter roadway. If a landscape mound cannot be installed in this area, the rear elevations of the homes on lots adjacent to the perimeter street with either the side or rear lot line less than 45 degrees from parallel to the perimeter street shall have either a sun room, recessed patio or covered patio. This Standard shall not apply where the front yard of a lot is adjacent to the west side of Anthony Road.

Section 9. **Open Space.** The District shall be required twenty (20) percent open space, based on the gross area of the Real Estate. Such open space may be aggregated

anywhere within the District. Open space calculation is inclusive of ponds and perimeter common areas. Street rights-of-way and area on private lots shall not qualify as open space.

Section 10. **Miscellaneous Standards.** The standards of Article 7.23 of the Zoning Ordinance shall apply except for Article MS05.

[Remainder of page intentionally left blank, signature page follows]

ALL OF WHICH IS ORDAINED/RESOLVED THIS __ DAY OF _____, 2023.

CICERO TOWN COUNCIL

Voting For

Voting Against

Abstain

ATTEST: _____

Rhonda Gray, Clerk Treasurer

Prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 550 Congressional Blvd, Suite 210, Carmel, IN 46032 (317) 844-0106.
Clark Farms PUD 7 090823

SCHEDULE OF EXHIBITS

Exhibit A	Real Estate (Legal Description)
Exhibit B	Concept Plan
Exhibit C	Single Family Dwelling Character Exhibit
Exhibit D	Townhome Character Exhibit
Exhibit E	Amenity Character Exhibit

EXHIBIT A
REAL ESTATE

PART OF THE NORTHWEST AND SOUTHWEST QUARTERS OF SECTION 32 AND PART OF THE NORTHEAST QUARTER OF SECTION 31 BOTH IN TOWNSHIP 20 NORTH, RANGE 4 EAST OF THE SECOND PRINCIPAL MERIDIAN, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

BEGINNING AT A HARRISON MONUMENT MARKING THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 32; THENCE ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER NORTH 88 DEGREES 54 MINUTES 59 SECONDS EAST (BASIS OF BEARINGS) 1395.85 FEET TO THE NORTHEAST CORNER OF THE WEST HALF OF SAID NORTHWEST QUARTER; THENCE ALONG THE EAST LINE OF SAID WEST HALF SOUTH 00 DEGREES 40 MINUTES 51 SECONDS WEST 1881.53 FEET TO THE NORTH LINE OF THE LAND DESCRIBED IN DEED BOOK 308, PAGE 223 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA; THENCE ALONG SAID NORTH LINE NORTH 88 DEGREES 39 MINUTES 10 SECONDS EAST 1386.48 FEET TO THE EAST LINE OF SAID NORTHWEST QUARTER; THENCE ALONG SAID EAST LINE SOUTH 00 DEGREES 58 MINUTES 24 SECONDS WEST 787.19 FEET TO THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER; THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 32 SOUTH 00 DEGREES 58 MINUTES 24 SECONDS WEST 1191.57 FEET; THENCE SOUTH 89 DEGREES 23 MINUTES 03 SECONDS WEST 2724.02 FEET TO THE WEST LINE OF SAID SOUTHWEST QUARTER; THENCE ALONG SAID WEST LINE NORTH 00 DEGREES 59 MINUTES 38 SECONDS WEST 711.82 FEET TO THE SOUTHWEST CORNER OF THE LAND OF HAMILTON COUNTY COMMISSIONERS AS DESCRIBED IN INSTRUMENT NO. 2013016324 IN SAID RECORDER'S OFFICE; THENCE THE FOLLOWING THREE (3) COURSES ALONG THE PERIMETER OF SAID INSTRUMENT NO. 2013016324; (1) NORTH 89 DEGREES 04 MINUTES 20 SECONDS EAST 39.30 FEET TO A REBAR WITH "MILLER" CAP; (2) NORTH 00 DEGREES 49 MINUTES 31 SECONDS WEST 50.00 FEET TO A REBAR WITH "MILLER" CAP; (3) SOUTH 89 DEGREES 04 MINUTES 20 SECONDS WEST 39.44 FEET TO THE WEST LINE OF SAID SOUTHWEST QUARTER; THENCE ALONG SAID WEST LINE NORTH 00 DEGREES 59 MINUTES 38 SECONDS WEST 394.02 FEET TO A HARRISON MONUMENT AT THE NORTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 31 SOUTH 88 DEGREES 51 MINUTES 51 SECONDS WEST 1313.78 FEET TO A HARRISON MONUMENT AT THE SOUTHWEST CORNER OF THE EAST HALF OF SAID NORTHEAST QUARTER; THENCE ALONG THE WEST LINE OF SAID EAST HALF NORTH 00 DEGREES 13 MINUTES 40 SECONDS EAST 1774.04 FEET TO A POINT 923.00 FEET SOUTH OF THE NORTHWEST CORNER OF SAID EAST HALF; THENCE PARALLEL WITH THE NORTH LINE OF SAID NORTHEAST QUARTER NORTH 89 DEGREES 50 MINUTES 53 SECONDS EAST 793.24 FEET; THENCE PARALLEL WITH THE WEST LINE OF SAID EAST HALF NORTH 00 DEGREES 13 MINUTES 40 SECONDS EAST 923.00 FEET TO THE NORTH LINE OF SAID NORTHEAST QUARTER; THENCE ALONG SAID NORTH LINE NORTH 89 DEGREES 50 MINUTES 53 SECONDS EAST 527.75 FEET TO THE POINT OF BEGINNING, CONTAINING 248.43 ACRES, MORE OR LESS.