



CICERO/JACKSON TOWNSHIP PLAN COMMISSION

Plan Commission Meeting Agenda

June 11th, 2025

Red Bridge Park Comm Building
679 W Jackson Street/25 Red Bridge Park
Cicero, IN 46034

Roll Call of Members

Present:

- Dan Strong
- Wendy Gillespie
- Harrison Massone
- Dennis Schrupf
- Dennis Johnson
- Eric Hayden
- Marc Diller
- Mark Thomas
- Ford Hebner
- Aaron Culp - Legal Counsel
- Frank Zawadzki - Plan Director
- Terri Strong - Recorder

Declaration of Quorum:

Approval of Minutes:

May 14th, 2025

Public Comment:

Old Business:

Docket #: PC-0425-04-AG

Petitioner: Estridge Development

Property Address: 78 acres of a 100.3 acre parcel on the west side of Deming road and ¼ mile south of East 236th street, Cicero IN, 46034 & 40-acre parcel on the east side of Deming Road and ¼ mile south of East 236th Street, Cicero IN, 46034.

A Rezone application has been submitted concerning article 13 of the Cicero/Jackson Township Zoning Ordinances in order to: Rezone 2 parcels currently zoned as "AG" Agriculture to "R3" Medium Lot, Medium Homes District.

Docket #: PC-0425-06-AG

Petitioner: Estridge Developments

Property Address: 78 acres of a 100.3 acre parcel on the west side of Deming road and ¼ mile south of East 236th street, Cicero IN, 46034 & 40-acre parcel on the east side of Deming Road and ¼ mile south of East 236th Street, Cicero IN, 46034.

A Rezone application has been submitted concerning Article 8 of the Cicero/Jackson Township Zoning Ordinances in



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order to: In the event the above Petition is approved to rezone the 2 parcels to R3, to then Rezone the 2 parcels zoned as "R3" Medium Lot, Medium Homes District to "PD-R3".

New Business:

Docket #: PC-0625-07-AG

Petitioner: Gerard Goodbold

Property Address: 1784 E 226th Street, Cicero, IN 46034

An Aesthetic Review application has been submitted concerning Article 5 Aesthetic Review Overlay District for a fence on the property located at 1784 E 226th Street, Cicero, IN 46034.

Plan Director's Report: Enclosed in your packets.

President's Report:

Legal Counsel's Report:

Board Member Comments

Next Planned Plan Commission Meeting:

July 9th, 2025

11. Adjournment:

Location:

Cicero Town Hall
70 N Byron Street
Cicero, IN 46034

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CICERO/JACKSON TOWNSHIP PLAN COMMISSION

Plan Commission Meeting Minutes Red Bridge Park Community Building 50 Red Bridge Park, Cicero, IN 46034 May 14th, 2025

Roll Call of Members

Present:

- Dan Strong
- Wendy Gillespie
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- Dennis Schrupf
- Dennis Johnson
- Eric Hayden
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- Mark Thomas
- Ford Hebner
- Aaron Culp - Legal Counsel
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1. Declaration of Quorum: President Strong declared a quorum with 9 members present.

2. Approval of Minutes:

Mr. Hayden made motion to approve minutes as presented for April 9th, 2025, meeting. Mr. Johnson second. All present in favor.

3. Public Comment: President Strong stated this is the time for any items to be addressed by the public not on tonight's agenda. Also explained that items on the agenda would have time for public hearings.

Devon Scherer 3916 E. 226th Street, wanting an update on 236th Street. President Strong stated what we are being told is Sept/October timeframe.

4. Old Business:

No old business

5. New Business:

Docket #: PC-0425-05-P1

Petitioner: Hamilton County Park Impact Fee

President Strong stated they have requested this Docket to be withdrawn, and they will resubmit when more prepared to present. Docket is withdrawn.

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Petitioner: Estridge Development



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A Rezone application has been submitted concerning article 13 of the Cicero/Jackson Township Zoning Ordinances in order to: Rezone 2 parcels currently zoned as “AG” Agriculture to “R3” Medium Lot, Medium Homes District.

Mr. Massonne made motion to untable from last meeting. Mr. Hayden second. All present in favor.

President Strong explained for informational purposes that this request is for a Rezone to R3 prior to request for a Planned Development rezone as a PD cannot be created directly from an AG district. Ordinance does not allow without this extra step.

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Petitioner: Estridge Developments

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A Rezone application has been submitted concerning Article 8 of the Cicero/Jackson Township Zoning Ordinances in order to: In the event the above Petition is approved to rezone the 2 parcels to R3, to then Rezone the 2 parcels zoned as “R3” Medium Lot, Medium Homes District to “PD-R3

President Strong explained that the Board will allow Estridge to address both dockets at the same time to expedite the process. Once the public hearing portion is open we would allow public to address either docket as well, to potentially save time.

Matt Skelton with Church, Church, Hittle, and Antrim offices at 2 North 9th Street Noblesville, attorney for Estridge Homes. Lisa Claybourne, and from Estridge Homes, Clint Mitchell, Rob McGraw, Doug Peterson, Mason Quinn, Robin Gross, and Roger Foster. Mr. Mitchell and Mr. McGraw along with the Estridge family are owners of Estridge Homes.

Mr. Skelton explained here to introduce a very high-end single-family neighborhood by Estridge Homes to be called Hinkle Ridge. If aware of Estridge Homes you are aware of reputation of high-quality architecture with attention to details for neighborhoods. Hinkle Ridge will include a mix of homes expected to range from \$750,000 to \$2,000,000. Neighborhood has been planned to maximize the preservation of mature trees, property and attributes of the area. Estridge held a neighborhood meeting in March, have followed up with other meetings with neighbors. Concerns were raised about traffic, this is not considered to be a traffic generator, half of residents expected to be empty nesters. Drainage was a comment made, Hamilton County Drainage requirements makes it virtually impossible to develop and make drainage worse. Plan will take care of many issues on the property today. Changes to the rural experience in the area was also a concern. Hinkle Ridge is a high-end desirable development that will provide a very high standard for this area of the Township. Comments during neighborhood meetings were made around desire to continue engagement of discharging firearms in the area. Nothing being proposed would prohibit that. Estridge is trying to be proactive in addressing comments that may come up again during public comment. Clint Mitchell to address details of the neighborhood.

Clint Mitchell 645 Carmel Drive, Carmel. CEO of Estridge Homes, has been in central Indiana since 1965. Part of the community, many employees live in Cicero. Site plan shared on monitors. Establishing large park area, Hinkle Preserve, in total 42 acres. Common area, open space, keeping as many of the large trees as possible, positioning homes to take advantage of deep ravines. Trail system that will connect to existing path on 236th. Also, other trails through the



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preserve area, interest points, pedestrian bridge connecting one section to another. In designing have come up with four different collections or size of homes to build the neighborhood. Monitor was used to show examples- from previously built homes in other neighborhoods. Referring to site plan, the western edge would have the Estate section, the largest priced homes, expect them to approach or exceed \$2M appealing to both large families and empty nesters. Middle section, the Ridge, will have two different product types, families and empty nesters as well, expecting to be in \$900-1.5M in price. Center of neighborhood have smaller homes for empty nesters, \$750-900 price point. On average, exceeding \$1m in the neighborhood. This neighborhood will be the highest price point average neighborhood done by Estridge, most preserved green space, don't want to do high density. Revis Carson Drain mentioned earlier, runs through the property and high on the Counties list of drains needing repair. Will be reconstructed on our property and through several properties to the south, approximately a mile in total. We will be fixing an existing problem, no costs to other property owners. This will cost approximately \$1.5M to fix/improve the drain for the area.

President Strong asked if questions from Board members. Mr. Hayden questioned the drain to the south, what road would that intersect. Mr. Peterson stated it sits between Anthony and Deming to 226th street. We would start the north edge of property. Mr. Thomas questioned again the boundary area, questioning the whole drain. Mr. Peterson (with Estridge) stated our property to 226th. Mr. Hebner asked have you looked at doing a package plant type of water/sewer setup, many neighborhoods outside of municipality go to this type of area. Also, many here are concerned that once this goes in, they would be forced to spend dollars to hook up water and sewer. Has anything been done to mitigate that or help the others out? Mr. Mitchell we have not looked at alternative plans. Have talked to Utility District but do not have an agreement. Have been told it is coming to the point north of us with or without our project. We do know we will have to do a lift station on our property at our cost. Our understanding that the route has been determined with or without our project. Mr. Johnson questioned entrances, in event of emergency there is only one access. Mr. Mitchell we do not have an entrance on 236th Street, we do have emergency access. On Deming Road we have separate median to have two access points. When we go through the platting process we could address on the far east or far west. Mr. Hayden traveling west out of Cicero, turning left on either Anthony or Deming could get quite backed up. Are you planning blisters or whatever to be able to go around? Mr. Mitchell stated talking to County and will have passing lanes or blisters on the approval. Mr. Hayden stated mentioned trails and look good throughout the project, access on Deming, but have you considered Anthony as well or does that go outside your project? Mr. Mitchell stated our property on Anthony side doesn't go all the way through to 236th. Expect to pave in front of our property but would go nowhere will be a pedestrian bridge over Hinkle Creek connecting to the trails. Mr. Diller questioned which development in Hamilton County would resemble this development the most in regard to the homes. Mr. Mitchell answered Serenade, extremely popular, currently sold out, 161st and Ditch Road in Westfield. Only exception is the smaller lot sizes are not a part of this development, the larger homes styles. President Strong asked regarding trails, in PUD you refer to sidewalks, are you proposing trails opposed to sidewalks. Mr. Mitchell stated there will be both city walks in front of homes and in addition there would be asphalt or fresh stone trails through the woods. Both city walks then trails along main roads to connect east to west. Mr. Massonne questioned if could compare the density of Serenade to the site plan. Mr. Mitchell answered almost identical when you look at homes per acre, 1.5. Mr. Massonne questioned R-3 with setbacks of five feet and accessory structures, wing walls. Mr. Mitchell answered those are architectural features. Mr. Massonne questioned 20 feet setbacks with five-foot sidewalks, what is the depth of the drive. Mr. Mitchell stated we oversize the garages to have depth and width to open doors and have storage. Double depth and three car garages are common. Mr. Massonne also questioned statement that purchase of real estate after two years would go back to R-3 classification, would we (the Board) have any bearing on if that would go back to AG. Mr.



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Hayden summarized that if the project would not go through it states would go back to R-3 but shouldn't that be AG. Mr. Culp answered that it would be up to us, we could accept as written or require it go back to AG. Mr. Thomas questioned the platting process this is the plan. Mr. Mitchell stated it is the current plan, have gotten feedback from neighbors and want feedback from you. Mr. Hebner asked if there are plans for gating for residents. Mr. Mitchell stated not at the moment but could consider one section being gated.

President Strong stated prior to the opening of the public hearing want to go over a few things. As you step forward, state your name and address for the record, comments will be limited to two minutes with the number of people to speak, you are given one opportunity to address the Board, someone cannot give you their time. Mr. Zawadzki will set the timer. All comments should be addressed to the Board and not others or the petitioner. If someone previously addressed your concerns or thoughts, you could state I agree with xxx. If meeting goes on we will take a 10-minute break around 9:00 pm. If we approach late night the Board may end and allow continue next meeting. If you can refrain from clapping and cheering it allows everyone more time and the Board the ability to hear the comments.

Mr. Hayden made motion to open public hearing. Mr. Massonne second. All present in favor.

President Strong stated we have a list of people that want to speak. Again, both dockets are open, the rezone and the PUD request.

Comments are summarized by the recorder, any materials given to the Board become part of the file.

Joni Moehl 23581 Colt Way-Enjoy country living, understand need for some development, felt a 5-7 acres lot would keep feel of country, paid a lot for septic, very against this type of development it will change the culture of the area. Feel the reason that I moved here will make me to not want to stay. Concerned for the drainage.

Steven Chance 3161 E. 246th Street-List of questions given to Board by community members. Concerns are that the foundations discussed at previous meetings have not been addressed. Police/Fire, School impact, traffic study. Roads are not built for this development; current roads are terrible. Who pays for blisters, extra lanes. We haven't dealt with the foundations and feel 1-2 years off of doing this development.

Kimberly Chance 3161 E. 246th Street-Appreciate Estridge trying to bring quality product to community. Unique position of time in the community, Comp Plan timing and approval without Jackson Township representation, many moving parts. This area is designated as AG, Jackson Township residents trusting that Comp Plan was not a ruse, yet a week later this is before the Board. Do right thing for residents and township.

President Strong addressed the comments. This Board does have Jackson Township representation; it is not just Cicero.

Amanda Egler 5228 E. 225th Street, Noblesville. Fifth generation farmer. Encourage to look back at comments when Comp plan was being developed. Number one thing mentioned in discussing the framework was preservation of rural character and farm ground in the Township. Just passed plan and now a week later this development. Positioning when discussion of areas of growth were much closer to Cicero. Stick with current zoning.

Andre Maue 22410 Gilford Ave, Cicero. Just moved to this area a year ago from Westfield (25yr resident). Sitting on Plan Commission in Westfield understand and researched Comp Plan for Cicero/JT. Part of decision plan to move. Comp Plan makes clear what is recommended for the area, this is not a gray area or close to a line. Product is quality being presented. Not a matter of details of product, utilities it is a matter of planning issue. If rezoned from AG, then saying not going to follow the plan.



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Jeff & Cheryl Titus 4160 East 231st Cicero. Built house on 15 acres to not have neighbors, if approved will have 70 houses on doorstep. Moved to not have neighbors, to be able to shoot, will be 200 feet from houses if approved. Keep zoned AG.

Hank King 23565 Colt Way. Built for way of life, invested dollars in land and building. If approved impact to traffic is underestimated, empty nesters questioned due to size of homes. Concern for utility impact and significant uncertainty that is currently the case. Keep construction building closer to other buildings. Drain improvement will be great but not convinced there will not be issues. Master plan and represent residents in the area.

Mitchell Rockwell 17097 Linda Way. Opposed to project. Updated Comp Plan and should look at what was approved. Other concern is the residents that are not direct neighbors to proposed site and the Utility District impact. Concern for landowners in the path and imminent domain concerns.

Corey Thielen 4301 236th Street. Cicero. Directly north of the proposed site. I came from neighborhood of 600 homes and saw the concerns of traffic, HOA restrictions, foot traffic and lack of peace and quiet. Since moving have seen issues such as three-year road closure, property taken for path, new wastewater plant. Do not see changes from Estridge meetings with neighbors, minimal notice. Not interested in 5-7 acre lots. Do not want large developments to disturb peace and quiet. Vote no.

Rick Hahn Catamaran Circle, What happens to people at end of drain will they get dumped on, what good is comprehensive traffic study with 236th closed and traffic 31 becoming limited access. Comp Plan spent 14-15 months and hired a consultant, what a waste of taxpayer funds if within a week you put the Comp Plan away and what a waste of taxpayer dollars. Do not feel sorry for Estridge recently approved for 700 homes on 336 in West Lafayette they will be fine without us. .

Steven Moore 4114 E. 236th Street. Lifelong resident of Hamilton county, moved from similar development, not a right fit for the community. Moved to country for space, privacy, shooting, dirt bike etc. High density property jeopardizes all of that. Next is traffic, noise, HOA rules, security, and infrastructure that cannot handle this type of project. Residents do not want it. We are not anti-growth we are anti-irresponsible growth. Request denial of project.

Shawn Holstein 22900 Deming road, west side. Directly affected by drainage issues. First, submitted letter to Board, request reviewing the significant flooding issues. And erosion issues in the area. Second, pointed to home on monitor. Development will add to the issue of drainage to the south. Deming Road with the increase traffic currently is giving a taste of what is to come, concern for safety. Thirdly, maintaining rural way of life for the residents in the area. Vote no.

President Strong stated this is last one that turned in to speak, open to anyone in audience if interested.

Hugh Berry 3669 E. 246th Fourth generation Jackson Township resident. Light pollution, traffic currently without additional homes.

Landi Strand 21911 Flippins Road, do not boarder this development. Opposed to project. Appreciate in the Comprehensive Plan they had two important values-small town feel of Cicero, and the rural agricultural feel of JT. Also 236th is an important part of those two values. While Estridge is a wonderful builder, having a subdivision along that corridor is not protecting the value of rural agricultural feel. Certainly, everyone has right to sell their property, the community has a right to maintain their community. There has to be a balance. This does not help the balance.

David Hodgin 3525 E. 236th Cicero. I appreciate Estridge talking to me, but I don't need seven homes on one side of my property. Farming in blood, do not need the density, homes need plenty of property, don't destroy farming to build.



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Devone Sherer 3916 E. 226th Street, Agree with all the comments being said, against project. Concerns are fire response time that is six miles away from town. I want country setting to remain.

Ian Stewart 7700 Main Street, Subdivisions not in our area, why walking paths for more housing additions, comp plan is AG should remain.

Chris Thifault 23150 Deming Road, Share south border of both parcels being considered by petition. Highest taxpayer in Cicero and third highest in Township. Great product by Estridge but hearing one consistent comment which is do they adhere to the Comp Plan. As business owner with asking for a step back and not approve.

President Strong seeing no more wanting to speak, Mr. Zawadzki do you have any letters/emails to add to the record.

Letters will be added to the file and are summarized by the recorder. Read by Mr. Zawadzki.

Chris & Carrie Thifault 23150 Deming Road, Firmly object to petition. Border the properties being proposed. Concern for financial impact. Quality of life, traffic, noise and light pollution concerns, concern for individuals right to utilize firearms, erosion and flooding concerns. Surrounding area are country estates not subdivisions.

Greg Decker 23555 Deming Road. Concerns: value rural life, traffic from 10 homes to adding 156 homes on Deming Road, traffic from delivery services, noise and light pollution, construction noise for years.

Gerald Dunmire 2840 E. 236th. Opposed. Does not align with Comp Plan in several areas. Location and infrastructure concerns with scattered subdivisions. Section one -noise and pollution. Question if studies have been done and request before approval. Concern for reversal to R-3 if not done within 2 years, should revert to AG.

Jay Irving 4725 E. 236th Street. Petition is taking advantage of zoning ordinances Page 19 section 2.3. AG should not be rezoned to R-3. Should not be approved. Spot zoning should be prohibited. Land Use is not in spirit of zoning. Concern for density in rural area without study of financial impact to surrounding citizens, concern for Utility district and impact to existing citizens that do not want to connect. Safety of roads, services of fire and police and impact on them, school impact.

Neuri and Angelica Lausch 4365 E. 236th Street. Concern for water table, drainage, flooding in homes due to drainage. Health concerns with exhaust, mold. Concern for sewer connection fees.

Bob & Rita O'Rear 4302 E. 236th Street. Opposed to development. Comp Plan what is purpose when can circumvent plan for development. Drainage concerns and potential costs to others in the area. Traffic on 236th, or 226th Street. Why doing a zoning and PUD being done at same time?

Carol Sanquetti 3250 E. 236th Cicero. Opposed to petition, quality of life, utility district potential costs and burden, property tax increases, potential approval of additional subdivisions if one is approved. Long term impact to residents.

Sherry Lantzer Opposed. Opens to utility district requirements and fees.

Andrew Snider Opposed. While best plan that has been proposed concerns for lack of infrastructure, drainage concerns and not able to handle. Residents in area will be impacted by costs to improve. Traffic on Deming and Anthony Road and lack of trust in County to fix roads. Utility district concerns. Financial burdens to current residents.

Jeff and Cheryl Titus 4160 E. 231st. Opposed. Concern for having neighbors, losing rights to shoot guns, traffic concerns, noise and light pollution, rental properties, drainage, crime, increase of property taxes. Wildlife and diseases. Ask for Board to refuse proposal and any future high-density proposals.



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President Strong thanked Mr. Zawadzki and suggested we find a way to streamline letters in the future in interest of time since public was allowed two minutes.

Mr. Hayden made motion to close public hearing. Mr. Johnson second. All present in favor.

President Strong stated this is the time for the petitioner to address any comments as well as Board members to ask any questions on rezone or PUD.

Mr. Mitchell stated he would be happy to address any questions the Board would have, many items mentioned are not new to us, but some are and would like opportunity to digest them and continue this to the next meeting. If Board has questions we would like to address. President Strong stated since you are willing to take comments back and address them it would be important for the Board to pose their questions if they have them. So, when you are going back to address you can address them as well. President Strong stated he had questions regarding the PUD and would hate to not share and present at next meeting and you have to go back again. If Board members have any comments please do so.

Mr. Hayden stated you mentioned the 20-foot front setback; Google search shows a car is 14.7-16.7 feet, a truck is closer to 20 feet. A crew cab is 19-21 feet. Mr. Hayden stated sidewalk is 5 feet, what is setback from road to sidewalk.

Rob McGraw Estridge Homes-Carmel Drive is corporate office. Stated from the curb eight feet (called a tree row), five-foot sidewalk then the 20 feet building setback. It is approximately 33 feet from road to building. Mr. Hayden questioned in your proposal that you have three different lot sizes, went to the neighborhood, which is a nice neighborhood, but the five-foot setbacks are very tight. Understand people wanting new homes are not all into maintenance and landscaping. What feedback do you get on the five feet setbacks? Mr. Mitchell stated not all are five-foot-setbacks there are different sized homes and in this case we wanted to keep as many trees as possible, looking at what the market prefer and common area that is maintained with trees. President Strong adding on, questioning encroachment to five-foot setbacks in the PUD. An accessory structure could encroach 3 feet into the setback. Technically if two sheds are side by side there would be four feet between the two sheds, trying to understand why would want to encroach into the setback at all. Concern being the fire protection and concern for buildings being on top of each other. Mr. Mitchell stated didn't think accessory structures but the wing walls. Used monitor to describe. Would change that if it is worded to do that, will review that no accessory unit/building would be put into. Mr. Thomas read the section, freestanding accessory structures such as fireplaces, trellis, outdoor kitchen structures may encroach up to three feet into the required setback. Mr. Mitchell stated that type of fireplace or that type of wing wall could go beyond the foundation wall and could go into the five-foot setback. Mr. Thomas stated you have wing wall could encroach up to two feet into required setback. Section 7, 180 brings up accessory structures. President Strong stated we consider accessory structures as pools, sheds those type of structures. Mr. Mitchell stated we can call out and prohibit those structures. Mr. Hayden asked how to you manage structural requirements; 50% of lots in development will have basements and 50% will have decorative garage doors. How is this managed if these are custom homes? Mr. Mitchell what is being offered, only one is slab, the other three designs are basement standard so would be more than 50%. The empty nester homes have an option, which is where the 50% would come from. Mr. Hayden questioned the front-load garage doors. Mr. McGraw stated they have predetermined all elevations and which garage door goes with each elevation. The door will match the architectural details of the home.

Mr. Massonne stated in reviewing the Comp Plan this is far out there, as far as spending money in Cicero. The comparison of R-3 lot sizes and ordinances, R-4 is minimal of 13000 square feet, 1/3 acre. This shows middle size is .25



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of an acre and smallest is .165 of an acre. So, where it is and the lot sizes, if you take out green spaces, it is more like 2.5 homes per acre on the buildable acres. Mr. Massonne stated you can't always determine what is for sale but where it is and compared to Comp Plan it is far from Cicero. Mr. Thomas asked why this location. Mr. Mitchell stated one is proximity to 31 and new access as well as general things going on in the area. Site specifically, have had eyes on property for years. Rob has known Mr. Fryberger for years who owns property and resides in carved out area. Beauty of area is what has driven us to the area.

President Strong knowing you are going back to review the PUD hate to add to the list but have comments to address. Fire protection do you plan on installing fire hydrants in the development? Answer was yes. President Strong stated Cicero Fire ordinance do markers in road please address that. You are planning on retention ponds; we have been told to have dry hydrants so Fire Dept can utilize water there if needed. Is there any intent to do warning system in the development? Mr. Mitchell questioned whether he desired or to be considered. President Strong stated would be beneficial to the residents of 180 homes. President Strong then asked about buffering along 236th street, as well as Deming and Anthony. Questioned what the buffering would look like as the back of homes would be backing to the roads. What would it look like? Mr. Mitchell answered they can provide examples. President Strong stated if moved forward provide detail as part of PUD documents. Moving to streetlights, proposal for streetlights, current neighborhoods have dusk to dawn lights. Mr. Mitchell stated would have dusk to dawn on homes and streetlights are vat to vat not much light pushed out. President Strong stated with the plans would you be able to identify. Answer was yes. President Strong stated understand doing in three sections, the question is when would you do the amenities, section one, two, three? Regarding the lot sizes, you are using the basis for an R-3-which allows 45% impervious surface, questioning if you will be able to meet that standard? Answer was yes. President Strong questioned if determined if going to allow on street parking. Mr. Mitchell stated there are some areas with the medians that it will be on one side, some other areas where it would be one side. Garages and drives should handle unless guests are over, to prevent on street parking. President Strong questioned the HOA process, but did not have anything on fences but with encroachment should identify what you want to see. President Strong stated considering the issue of reverting back to R-3 instead of AG, seems logical since it is AG today that if not done in two years that it would revert back to AG at that time. Answer was that change can be made, Mr. Mitchell. President Strong stated probably a Hamilton County question but no feasible to fix all of Deming Road, or Anthony Road but any potential since you are doing passing blisters and such that you would do the roads in front of your development? Mr. Mitchell answered we would be doing the section of Deming Road, not sure of Anthony but Deming would be done. President Strong clarified the road not just the passing blisters. Mr. Mitchell stated yes. Mr. Hayden asked the question that 236th gets passing blisters, concern for safety, do we contact county? President Strong stated we can ask the County if that is desired. *Unable to hear conversation details.* Mr. Hayden questioned windows and door numbers, concerned that a transom is considered an opening. Mr. Mitchell stated can clarify this area, better define.

President Strong asked for further questions. Understand have given long list of item but sure you appreciate having them before coming back and the items coming up at that time. President Strong stated if no further questions, at the petitioner's request would look for a motion to table.

Kimberely Chance interjected to respectfully request the Board vote no based on the entire community here having not one positive comment. Understand they want to extend but respectfully ask you respect this community and not pass this since it wasn't presented well. Apologize for being out of order.



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President Strong stated while appreciate your comments, would have to defer to Mr. Culp. But per the petitioner's request, they have the right to request it be tabled to address the concerns they have heard this evening. Mr. Culp stated that it has always been the way we have operated in the past. If we have a project like this and a petitioner has questions to answer we have allowed that opportunity. President Strong stated he understands it is an inconvenience to come back however that is what we have done in the past when the petitioner has asked. If the Board feels differently...

Mr. Hayden stated he does, put a lot of thought into this. It is our Plan Commission, and we have to assess the impact to the surrounding areas, that is our job. Do feel it is a nice project, from a density perspective, we felt Lennar was too dense. We talked what density looks like, and this comes close to the acceptable levels at that time. Do have a couple of concerns, the property owner and Estridge will have financial gains, with this Hamilton County Utility District it drives the infrastructure and impacts many people. We need to find how we can lessen that impact by those that are being touched by this project. That is a major concern, and while we have reached out to the County to see what can be done. Until we can figure out what can be done, it is a concern. Drainage is the other concern, I feel you have addressed that, taking ownership of solving. Again, you have a nice project, these are my concerns.

President Strong asked if any other questions by the Board.

Mr. Hayden made motion to table petition. Mr. Diller second. All present in favor.

President Strong stated this will be tabled until June. Meeting will take place at Red Bridge. I appreciate everyone being respectful of the Board and the petitioner. Meeting will be June 11 at 7:00 p.m.

6. Plan Director's Report: Enclosed in your packets recap by Mr. Zawadzki as follows: Permit revenue for April 2025 was \$5214, bringing YTD to \$13277. Comparing to April 2024 of \$3224, YTD \$14652, this is an increase of \$1590 for month and decrease of \$1375 YTD. Permits issued for month was 21 with 12 in corporate limits, zero new homes, additional 9 in township with zero new homes. Estimated cost of projects permitted was \$773855. Continued education with workshop on stormwater permitting.

7. President's Report: President Strong thank you to Board members for engagement and homework to prepare. We have heard a lot from the comments and residents that spoke.

8. Legal Counsel's Report: No report.

9. Board Member Comments: Mr. Thomas asked if Comprehensive Plan was approved. President Strong answered yes. Mr. Thomas asked if a final copy was going to be presented to board members. Mr. Culp stated he understood they are preparing a final copy and will be available soon, last resolution was signed at last meeting and sent to American StructurePoint. President Strong stated will see if an electronic copy is available to send out, and they are preparing a hard copy as Mr. Culp stated. Mr. Massonne stated he echoes the comment on regulating emails as people spoke then email read. President Strong stated he made a note of that and to try to condense. Mr. Hayden asked that Mr. Fryberger's letter be included. President Strong stated it was passed out but requested not to be read.

10. Next Planned Plan Commission Meeting:

June 11th, 2025, at Red Bridge Community Building @7:00 p.m.

11. Adjournment: Mr. Schrupf made motion to adjourn. Mr. Johnson second. All present in favor.

President _____



**CICERO/JACKSON
TOWNSHIP
PLAN COMMISSION**

Secretary: _____

Date: _____

Location:

Red Bridge Community Building

Cicero, IN 46034

DRAFT



**CICERO/JACKSON
TOWNSHIP
PLAN COMMISSION**

CICERO / JACKSON TOWNSHIP PLAN COMMISSION

REZONE APPLICATION

OFFICE USE ONLY

Rezone Category		Docket #: PC-0425-04-AG
<input type="checkbox"/> Commercial	<input type="checkbox"/> PUD	Date of Application: 03/07/2025
<input checked="" type="checkbox"/> Residential R3	<input type="checkbox"/> Other	Date of Expiration:
Check List		Rezoning Fee: \$700.00
<input type="checkbox"/> Adjoiner List	<input type="checkbox"/> Legal Notice Copy	Date of Hearing: 04/9/2025
<input type="checkbox"/> Certified Mail Receipts	<input type="checkbox"/> Property Sign	Date of Decision:
<input type="checkbox"/> Additional Applications	<input type="checkbox"/> Approved	<input type="checkbox"/> Not Approved

APPLICANT MUST COMPLETE THE FOLLOWING

Property Owner: Andrew & Ann Marie Freiburger		
Address: 3435 East 236th Street		
City: Cicero	State: IN	ZIP Code: 46034
Telephone:	Fax:	E-mail:
Project Address: east side of Deming Road, 1/4 mile south of East 236th Street		
City: Cicero	State: IN	ZIP Code: 46034
Parcel: part 03-06-05-51-00-001.000	Subdivision:	
General Contractor/ Builder: Estridge Development	Telephone: 317.669.6200	
Address: 645 West Carmel Drive, Suite #130	Fax:	
City: Carmel	Cell Phone: 317.902.8984	
State: IN	ZIP Code: 46032	Email: dougpedersen@estridge.net
Current Zoning: AG		
Proposed Zoning: R3		
Reason for rezone: Development of a residential community		
Proposed use of rezoned property: Single Family Residential		



**CICERO/JACKSON
TOWNSHIP
PLAN COMMISSION**

CICERO / JACKSON TOWNSHIP PLAN COMMISSION

REZONE APPLICATION

OFFICE USE ONLY			
Rezone Category		Docket #: PC-0425-04-AG	
<input type="checkbox"/> Commercial	<input type="checkbox"/> PUD	Date of Application: 03/07/2025	
<input checked="" type="checkbox"/> Residential R3	<input type="checkbox"/> Other	Date of Expiration:	
Check List		Rezoning Fee:	
<input type="checkbox"/> Adjoiner List	<input type="checkbox"/> Legal Notice Copy	Date of Hearing: 04/09/2025	
<input type="checkbox"/> Certified Mail Receipts	<input type="checkbox"/> Property Sign	Date of Decision:	
<input type="checkbox"/> Additional Applications	<input type="checkbox"/> Approved	<input type="checkbox"/> Not Approved	
APPLICANT MUST COMPLETE THE FOLLOWING			
Property Owner: Kent C. Steury			
Address: 5091 East 225th Street			
City: Noblesville		State: IN	ZIP Code: 46062
Telephone:	Fax:	E-mail:	
Project Address: east side of Deming Road, 1/4 mile south of East 236th Street			
City: Cicero		State: IN	ZIP Code: 46034
Parcel: 03-06-05-51-00-006.000		Subdivision:	
General Contractor/ Builder: Estridge Development		Telephone: 317.669.6200	
Address: 645 West Carmel Drive, Suite #130		Fax:	
City: Carmel		Cell Phone: 317.902.8984	
State: IN	ZIP Code: 46032	Email: dougpedersen@estridge.net	
Current Zoning: AG			
Proposed Zoning: R3			
Reason for rezone: Development of a residential community			
Proposed use of rezoned property: Single Family Residential			



**CICERO/JACKSON
TOWNSHIP
PLAN COMMISSION**

CICERO / JACKSON TOWNSHIP PLAN COMMISSION

REZONE APPLICATION

OFFICE USE ONLY			
Rezone Category		Docket #: PC-0425-06-AG	
<input type="checkbox"/> Commercial	<input type="checkbox"/> XPUD PD R3	Date of Application: 04/14/2025	
<input type="checkbox"/> Residential	<input type="checkbox"/> Other	Date of Expiration:	
Check List		Rezoning Fee: \$700.00	
<input type="checkbox"/> Adjoiner List	<input type="checkbox"/> Legal Notice Copy	Date of Hearing: 05/14/2025	
<input type="checkbox"/> Certified Mail Receipts	<input type="checkbox"/> Property Sign	Date of Decision:	
<input type="checkbox"/> Additional Applications		<input type="checkbox"/> Approved	<input type="checkbox"/> Not Approved
APPLICANT MUST COMPLETE THE FOLLOWING			
Property Owner: Andrew & Ann Marie Freiburger			
Address: 3435 East 236th Street			
City: Cicero		State: IN	ZIP Code: 46034
Telephone:	Fax:	E-mail:	
Project Address: southwest corner of Deming Road and East 236th Street			
City: Cicero		State: IN	ZIP Code: 46034
Parcel: part 03-06-05-51-00-001.000		Subdivision:	
General Contractor/ Builder: Estridge Development		Telephone: 317.669.6200	
Address: 645 West Carmel Drive, Suite #130		Fax:	
City: Carmel		Cell Phone: 317.902.8984	
State: IN	ZIP Code: 46032	Email: dougpedersen@estridge.net	
Current Zoning: AG			
Proposed Zoning: R3/PD			
Reason for rezone: Development of a residential community			
Proposed use of rezoned property: Single Family Residential			



**CICERO/JACKSON
TOWNSHIP
PLAN COMMISSION**

CICERO / JACKSON TOWNSHIP PLAN COMMISSION

REZONE APPLICATION

OFFICE USE ONLY

Rezone Category		Docket #: PC-0425-06-AG
<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> PUD PD R3	Date of Application: 04/14/2025
<input type="checkbox"/> Residential	<input type="checkbox"/> Other	Date of Expiration:
Check List		Rezoning Fee: \$0
<input type="checkbox"/> Adjoiner List	<input type="checkbox"/> Legal Notice Copy	Date of Hearing: 05/14/2025
<input type="checkbox"/> Certified Mail Receipts	<input type="checkbox"/> Property Sign	Date of Decision:
<input type="checkbox"/> Additional Applications	<input type="checkbox"/> Approved	<input type="checkbox"/> Not Approved

APPLICANT MUST COMPLETE THE FOLLOWING

Property Owner: Kent C. Steury		
Address: 5091 East 225th Street		
City: Noblesville	State: IN	ZIP Code: 46060
Telephone:	Fax:	E-mail:
Project Address: east side of Deming Road, 1/4 mile south of East 236th Street		
City: Cicero	State: IN	ZIP Code: 46034
Parcel: 03-06-05-51-00-006.000	Subdivision:	
General Contractor/ Builder: Estridge Development	Telephone: 317.669.6200	
Address: 645 West Carmel Drive, Suite #130	Fax:	
City: Carmel	Cell Phone: 317.902.8984	
State: IN	ZIP Code: 46032	Email: dougpedersen@estridge.net
Current Zoning: AG		
Proposed Zoning: R3/PD		
Reason for rezone: Development of a residential community		
Proposed use of rezoned property: Single Family Residential		

ORDINANCE NO. ##-##-2025-#

**AN ORDINANCE CONCERNING AN AMENDMENT TO THE
CICERO/JACKSON TOWNSHIP ZONING ORDINANCE NO. 03-17-2015-1,
ZONE MAP, AND ALL AMENDMENTS THERETO, A PART OF THE
COMPREHENSIVE PLAN FOR THE TOWN OF CICERO, HAMILTON
COUNTY, INDIANA**

Document Cross-Reference No: 2022058747 & 2013019795

This is a Planned Unit Development District Ordinance (to be known as “Hinkle Ridge”) to amend the Zoning Ordinance of the Town of Cicero and Jackson Township, Hamilton County, Indiana (the “Zoning Ordinance”), enacted by the Town of Cicero (the “Town”) under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended.

WHEREAS, the Cicero/Jackson Township Advisory Plan Commission (the “Commission”) considered a petition (**Petition No.** PC-0425-06-AG), requesting an amendment to the Zoning Ordinance and the Zoning Map for real estate more particularly described in **Exhibit A** attached hereto (the “Real Estate”);

WHEREAS, the Commission forwarded Petition No. PC-0425-06-AG to the Town Council of the Town of Cicero, Indiana (the “Town Council”) with a _____ Recommendation (#-#) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code § 36-7-4-1505;

WHEREAS, the Town Council is subject to the provisions of the Indiana Code § 36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and,

NOW THEREFORE, BE IT ORDAINED by the Town Council of the Town of Cicero, Hamilton County, Indiana, meeting in regular session, that the Zoning Ordinance and Zoning Map, are hereby amended as follows:

Section 1. Applicability of Ordinance.

- 1.1 The Zoning Ordinance and Zoning Map are hereby changed to designate the Real Estate as a Planned Unit Development District to be know as the “**Hinkle Ridge PUD District**” (the “District”).
- 1.2 Development of the Real Estate shall be governed by (i) the provisions of this Ordinance and its exhibits, and (ii) the provisions of the Zoning Ordinance, as amended and applicable to the R3 Residential district or a Planned Development district, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance.
- 1.3 Chapter (“Chapter”) and Article (“Article”) cross-references of this Ordinance shall hereafter refer to the section as specified and referenced in the Zoning Ordinance.
- 1.4 All provisions and representations of the Zoning Ordinance that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Ordinance.
- 1.5 If Estridge Development Company, or its successors (the “Developer”), does not purchase a portion of the Real Estate within two (2) years of the date of adoption of this Ordinance the Property shall revert to the existing zoning classification of the Zoning Ordinance.

Section 2. Preliminary Development Plan. The Preliminary Development Plan, attached hereto as **Exhibit B**, is hereby incorporated in accordance with Article 8.8 of the Zoning Ordinance. The Real Estate shall be developed in substantial compliance with the Preliminary Development Plan.

Section 3. Underlying Zoning District. The Underlying Zoning District shall be the R3; Single Family Residential District.

Section 4. Permitted Uses. The permitted uses shall be as set forth below:

4.1 All uses permitted in the R3 Residential zoning district, as set forth in Article 3.9 of the Zoning Ordinance, shall be permitted.

4.2 **Maximum Dwellings.** The total number of dwellings permitted in the District shall not exceed one hundred seventy-two (172).

Section 5. General Regulations. The standards of Article 3.8 “R-3” District Standards, shall apply to the development of the District, except as otherwise modified below.

Hinkle Ridge Development Standards			
	97' lots	77' lots	62' lots
Minimum Lot Area	13,580 SF	10,780 SF	7,440 SF
Minimum Lot Frontage	40 feet	40 feet	40 feet
Minimum Building Setback Lines			
Front Yard	20 feet	20 feet	20 feet
Side Yard	6 feet	6 feet	6 feet
Rear Yard	20 feet	20 feet	20 feet
Minimum Lot Width	97 feet	77 feet	62 feet
Maximum Lot Coverage	42%	48%	59%
Minimum Living Area (Total)	2,800 SF	2,400 SF	2,000 SF
Open Space	48.7 acres (41%)		
Density	1.45 homes per acre		

Section 6. Development Standards. The District’s infrastructure shall comply with the Town of Cicero and Jackson Township Subdivision Control Ordinance (the “Subdivision Ordinance”), and the Town of Cicero Construction Standards and/or Hamilton

County construction standards except as modified below or unless otherwise approved by the Plan Commission or Department of Public Works in consideration to the preservation of the natural topography and environment and in consideration to the unique design intent of the District.

- A. All streets within the development will have 5-foot wide sidewalks on both sides of the street.
- B. An amenity area and subdivision identification signs will be installed in substantial conformance with the Preliminary Development Plan and the Character Exhibit, attached hereto as **Exhibit C**;
- C. Pedestrian Trailways shall be installed in substantial conformance with the Character Exhibit, attached hereto as **Exhibit D**;

Section 7. Architectural Standards: Homes will be constructed in substantial compliance with the Character Exhibit, attached hereto as **Exhibit E**. Residential Design Standards of Article 7.22 of the Zoning Ordinance shall be required unless otherwise specified below:

- 1. Structural Requirements:
 - a. Basements shall be required for a minimum of 50% of all lots within the development.
 - b. Front Building Façade shall have two (2) architectural plane breaks of at least sixteen inches (16”) of relief.
 - i. Cantilevered offsets shall meet the requirements for an architectural plane break if they provide at least 16 inches (16”) of relief.
 - ii. Covered porches shall meet the requirement for an architectural plane break if they provide at least five feet (5’) of relief.
 - c. Rear Building Façade shall have an architectural plane break of at least two feet (2’) of relief at one (1) or more points.

- i. Cantilevered offsets shall meet the requirements for an architectural plane break if they provide at least 16 inches (16”) of relief.
 - ii. Covered porches shall meet the requirement for an architectural plane break if they provide at least five feet (5’) of relief.
- d. Accessory wing walls may encroach up to two feet (2’) into a required setback , but not an easement.
- e. Free standing structures such as fireplaces, trellis, or outdoor kitchen structures may encroach up to three feet (3’) into a required setback but not an easement.

2. Building Materials:

- a. Exterior Siding Materials: Permitted exterior building materials shall include Cultured Stone, Stony Masonry, Brick Masonry, wood, EIFS, Stucco, and Concrete Fiber Board.
- b. Brick, stone or cedar shake on the Front Building Façade at the outside corners of the dwelling shall wrap around the corner and extend on the Side Building Facade a minimum of four (4) feet beyond the corner.
- c. All Buildings shall utilize a minimum of two (2) exterior building materials (excluding window, door and roofing materials).
- d. Vinyl or wood clad windows are permitted.
- e. Vinyl and/or Aluminum siding are prohibited.
- f. All driveways, porches and patios shall be a minimum of broom finished concrete.

3. Garage Requirements:

- a. Garage Composition and Orientation: All Dwellings shall have a minimum of two (2) car-attached garages and a maximum of four (4) car-attached garages.

b. Garage Orientations: may include Front Load, Side Load, or Courtyard-load-style garages

i. Front-load garages shall be recessed a minimum of two (2) feet behind the front plane of the Dwelling closest to and approximately parallel with the front property line. Covered porches shall be included when determining the front plane of the Dwelling. If a third-car garage is utilized, it shall be recessed by a minimum of sixteen inches (16") behind the plane of the other garage doors.

ii. Front-load garage elevations shall include a variety of design elements to vary the appearance of the garage façade. Design elements include the garage door, garaged door windows and/or hardware, garage door header, roof gable brackets, multiple building materials, gable accent windows, and gable decorative louver. A minimum of 50% of homes with front load garages shall have decorative garage doors and be painted to match the dominant exterior material or a color to accent the dominant exterior material.

4. Roof Requirements:

a. Roof Pitch: Primary roof pitch of the Dwelling shall have a minimum pitch of 6/12 front-to-back. Side-to-side gables on Front Building Facades shall have a minimum pitch of 6/12 unless architecturally significant to an architectural style such as Mid-Century Modern or Prairie Style. Gables on Rear Building Facades shall have a minimum pitch of 6/12. Ancillary roof pitches for shed-roofs, dormers, porches, bays, walkways, lanais, verandas, etc. may utilize a lower roof pitch.

- b. Minimum Overhangs: The roof overhang or eaves shall be a minimum of six (6) inches in areas where siding is installed and eleven (11) inches in areas of masonry material installation.
 - i. Elements such as porches, bay windows, dormers, shed roofs and areas with architectural enhanced decorative trim are exempt from this requirement.
- c. Ridgelines: Dwellings shall have a minimum of three (3) ridgelines. Ridgelines shall only be considered if they are horizontal ridges which form the peak of a pitched area. Covered and enclosed porches and box outs with gables shall count as a ridgeline.
- d. Roof Ventilation: Roof vents shall be located to the rear of the dwelling. All vents shall be positioned to be minimally visible from the street and shall be painted to match the roofing material, or for those made of metal, left natural or painted to match the roofing material.

5. Windows:

- a. All one-story Dwellings shall have a minimum of three (3) windows on the Front Façade and all two-story Dwellings shall have a minimum of five (5) windows on the Front Façade.
- b. All one-story Dwellings shall have a minimum of two (2) windows on the Side Façade and all two-story Dwellings shall have a minimum of three (3) windows on the Side Façade.
- c. All one-story Dwellings shall have a minimum of two (2) windows on the Rear Façade and all two-story Dwellings shall have a minimum of three (3) windows on the Rear Façade.
- d. A double window (a single mulled unit a minimum of four (4) feet in width with two windows side by side) shall count as two windows.

- e. Transoms a minimum of three (3) feet shall count as windows.
- f. A door shall meet the requirements for one window.
- g. All windows shall have either shutters and/or architectural treatment. For windows in a masonry façade, the treatment shall be of natural or masonry materials and be applied to the sill and header at a minimum (e.g. a brick rowlock or soldier course). For windows in a non-masonry façade, the treatment shall be of natural materials and be applied to the sill, header, and jams. The width of the architectural treatment shall be a minimum of 3 and one-half inches (3½”) in width.
- h. Windows shall each be a minimum size of eight (8) square feet. However, smaller-sized windows less than eight (8) square feet in size may be incorporated to satisfy this requirement if the collective size of the smaller windows meets or exceeds the collective total square footage of the windows otherwise required.

Section 8. Landscaping

- 1. Lot Landscaping: Minimum Lot Landscaping Standards of Article 7.7. of the Zoning Ordinance shall be required unless otherwise specified below:
 - a. All lots shall be landscaped with a minimum of two (2) shade trees, one (1) ornamental or evergreen tree, and ten (10) shrubs.
- 2. Buffer Yard Standards: A thirty (30) foot buffer yard shall be provided per

Exhibit F.

- a. All existing trees located in the buffer yard shall be reasonably preserved.
- b. Fences, landscape mounds, drainage structures and utilities may be installed within the buffer yard, but not in an easement.

Section 9. Lighting Street and intersection lighting to substantially follow

Exhibit G.

Section 10. Fences Fences will follow minimum standards set forth in Article 7.21 of the Zoning Ordinance.

Section 11. This ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

Section 12. Upon motion duly made and seconded, this Ordinance was fully passed by members of the Common Council this _____ day of _____, 2025.

TOWN COUNCIL OF THE TOWN OF CICERO

AYE

NAY

_____ Joe Cox _____
_____ Eric Hayden _____
_____ Dennis Johnson _____
_____ Chris Lutz _____
_____ Emily Pearson _____

ATTEST:

Rhonda Gary, Clerk Treasurer

I affirm, under the penalties of perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

Matthew S. Skelton
Printed Name of Declarant

Prepared by Matthew S. Skelton, Church Church Hittle & Antrim, 2 North 9th Street, Noblesville, IN 46060
317.773.2190

EXHIBIT A

(Page 1 of 2)

Legal Description

A PART OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 19 NORTH, RANGE 4 EAST, IN HAMILTON COUNTY, INDIANA, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 19 NORTH, RANGE 4 EAST; THENCE ON THE WEST LINE OF SAID NORTHWEST QUARTER SOUTH 01 DEGREES 26 MINUTES 24 SECONDS WEST 835.29 FEET TO THE SOUTH LINE OF EXISTING CEMETERY AND THE POINT OF BEGINNING OF THIS DESCRIPTION:

THENCE ON SAID SOUTH LINE SOUTH 88 DEGREES 40 MINUTES 20 SECONDS EAST 377.77 FEET TO THE SOUTHEAST CORNER OF SAID CEMETERY; THENCE CONTINUING SOUTH 88 DEGREES 40 MINUTES 20 SECONDS EAST 161.60 FEET; THENCE THE FOLLOWING 28 COURSES:

- | | | | |
|-----|--------------------|-----|--------------------|
| L1 | S49'29'39"E 105.85 | L15 | S27'41'43"E 24.31 |
| L2 | S69'10'59"E 36.42 | L16 | S75'06'55"E 34.35 |
| L3 | S67'30'50"E 48.47 | L17 | N75'33'22"E 35.37 |
| L4 | S32'32'26"E 44.93 | L18 | N00'32'52"E 74.79 |
| L5 | S55'50'21"E 17.92 | L19 | N19'35'53"E 30.02 |
| L6 | N89'17'40"E 47.58 | L20 | N29'13'39" 23.76 |
| L7 | S26'15'07"E 31.27 | L21 | N14'02'38" 37.88 |
| L8 | S14'24'46"E 45.63 | L22 | N01'45'09"E 66.95 |
| L9 | S61'56'31"E 14.37 | | N18'20'58"E 173.71 |
| L10 | S77'28'06"E 85.05 | L24 | N1412'13"E 291.07 |
| L11 | N56'05'48"E 37.46 | 125 | N29'19'45"E 190.74 |
| L12 | S85'54'13"E 86.39 | L26 | N37'14'48"E 112.27 |
| L13 | S10'47'26"E 23.99 | L27 | N22'55'06"E 31.77 |
| L14 | S14'50'01"W 68.91 | L28 | N08'Co'06"E 147.00 |

TO THE SOUTH RIGHT OF WAY LINE OF 236TH STREET PER INSTRUMENT No. 2023035008; THENCE ON SAID SOUTH RIGHT OF WAY LINE NORTH 89 DEGREES 28 MINUTES 55 SECONDS EAST 9.92 FEET TO THE WEST LINE OF THE TRACT OF REAL ESTATE DESCRIBED IN DEED BOOK 338, PAGE 157; THENCE ON SAID WEST UNE SOUTH 01 DEGREES 10 MINUTES 34 SECONDS WEST 549.44 FEET TO THE SOUTH UNE OF THE TRACT OF REAL ESTATE DESCRIBED IN INSTRUMENT No. 2020039946; THENCE ON SAID SOUTH LINE NORTH 89 DEGREES 24 MINUTES 45 SECONDS EAST 336.17 FEET TO THE EAST UNE OF SAID TRACT OF REAL ESTATE; THENCE ON SAID EAST LINE NORTH 01 DEGREES 10 MINUTES 34 SECONDS EAST 577.00 FEET TO THE SOUTH RIGHT OF WAY UNE OF 236TH STREET PER INSTRUMENT No. 2023035008; THENCE ON SAID SOUTH RIGHT OF WAY UNE NORTH 89 DEGREES 30 MINUTES 21 SECONDS EAST 449.63 FEET; THENCE CONTINUING ON SAID SOUTH LINE NORTH 88 DEGREES 52 MINUTES 15 SECONDS EAST 216.71 FEET TO THE SOUTH RIGHT OF WAY LINE OF 236TH STREET PER INSTRUMENT No. 2018058545; THENCE ON SAID RIGHT OF WAY UNE THE FOLLOWING 3 COURSES: 1) NORTH 89 DEGREES 24 MINUTES 45 SECONDS EAST 215.00 FEET; 2) SOUTH 20 DEGREES 28 MINUTES 15 SECONDS EAST 63.80 FEET; 3) NORTH 89 DEGREES 24 MINUTES 45 SECONDS EAST 9.29 FEET TO THE EAST

EXHIBIT A

(Page 2 of 2)

Legal Description

LINE OF SAID NORTHWEST QUARTER; THENCE ON SAID EAST LINE SOUTH 00 DEGREES 35 MINUTES 34 SECONDS WEST 1689.07 FEET TO A POINT THAT MEASURES 1183.05 FEET NORTH OF THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER; THENCE SOUTH 88 DEGREES 32 MINUTES 38 SECONDS WEST 2653.10 FEET TO THE WEST LINE OF SAID NORTHWEST QUARTER SAID POINT BEING 1201.03 FEET NORTH OF THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE ON SAID WEST LINE NORTH 01 DEGREES 26 MINUTES 24 SECONDS EAST 1024.35 FEET TO THE POINT OF BEGINNING, CONTAINING 78.24 ACRES, MORE OR LESS.

ALSO:

Part Of The Northeast Quarter Of Section Five (5), Township Nineteen (19) North, Range Four (4) East, Described As Follows, to-wit: Begin 60 Rods north of the Southwest corner of the West Half of the Northeast Quarter of said Section Five (5), Township Nineteen (19) North, Range Four (4) East, and run thence East 80 Rods, run thence North 79 90/100 Rods, run thence West 80 18/100 Rods, run thence South 79 90/100 Rods, to the Place Of Beginning, Containing 40 acres.

EXHIBIT B

Preliminary Development Plan



EXHIBIT C
Amenity/Sign Exhibit

DIFFERENT BY DESIGN



EXHIBIT E

(Page 1 of 6)

Home Elevations

DIFFERENT BY DESIGN



EXHIBIT E

(Page 2 of 6)

Home Elevations

DIFFERENT BY DESIGN



EXHIBIT E

(Page 3 of 6)

Home Elevations

DIFFERENT BY DESIGN



EXHIBIT E

(Page 4 of 6)

Home Elevations

DIFFERENT BY DESIGN



EXHIBIT E

(Page 5 of 6)

Home Elevations

DIFFERENT BY DESIGN



EXHIBIT E

(Page 6 of 6)

Home Elevations

DIFFERENT BY DESIGN



EXHIBIT F

Landscape Buffers

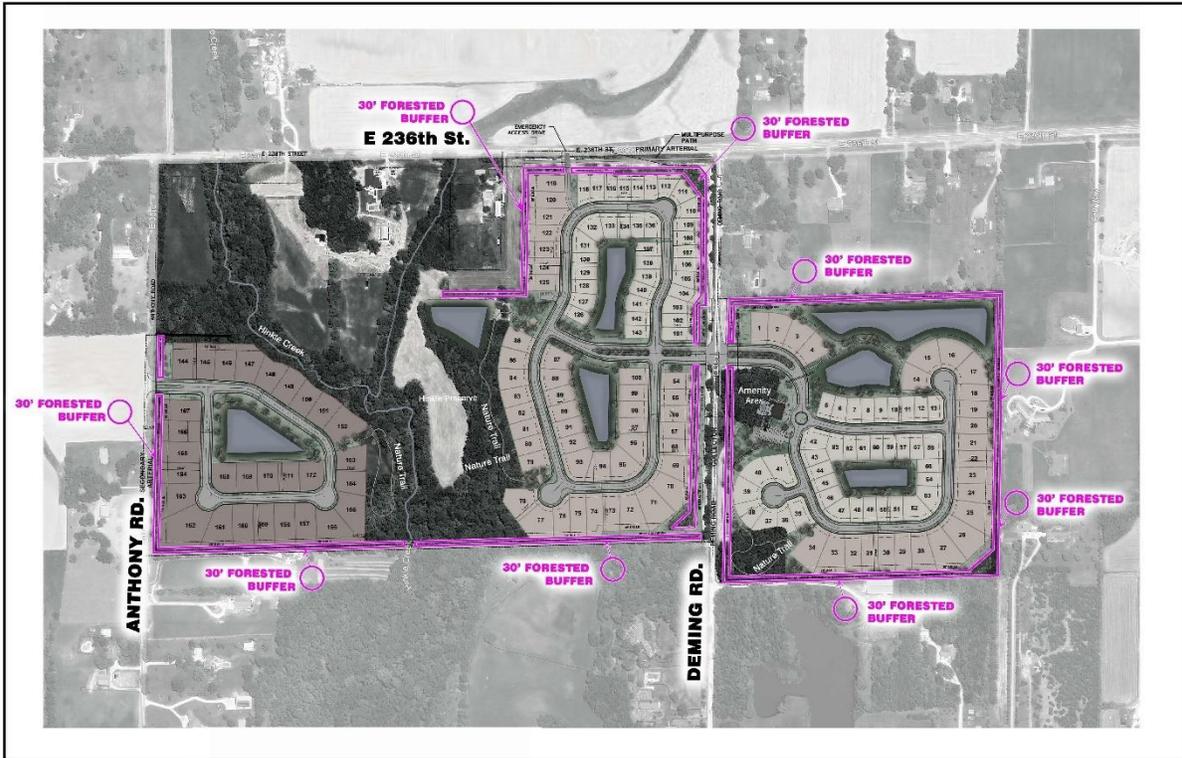


EXHIBIT G

Lighting Exhibit

Lifestyle Small (XDLS)
0.1 Meter (Recessed) Area 1.2 ft

FEATURES & SPECIFICATIONS

Dimensions:
- Luminaire Height: 1.2 ft (36 in.)
- Luminaire Width: 1.2 ft (36 in.)
- Luminaire Depth: 1.2 ft (36 in.)

Lighting:
- Light Source: LED
- Luminaire Type: Recessed
- Luminaire Finish: Black
- Luminaire Material: Aluminum
- Luminaire Weight: 1.2 lbs
- Luminaire Power: 62 W
- Luminaire Voltage: 120 V
- Luminaire Frequency: 60 Hz
- Luminaire Beam Spread: 120°
- Luminaire Color Temperature: 4000 K
- Luminaire CRI: 90

Lighting Notes:
- Mounting Height - 30'
- Light Loss Factor - 0.90
- Footcandle Calculation @ 30' Feet
- Reflectance Values - 85/50/20 (warehouse areas)
50/20/20 (warehouse areas)

National Lighting Vendor:
For pricing and service assistance contact:
Hinkley Lighting of CBMC, L.P., LLC
317-229-4119, 48 Harrison Avenue, Columbus, IN 47331

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description	BUG Rating
	15	X-S5	Single	8574	0.900	62	XDLS-09L-5D-UNV-30K8	B3-U0-G1

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Streets - Left	Illuminance	Fc	0.11	3.8	0.0	N.A.	N.A.
Streets - Right	Illuminance	Fc	0.11	3.8	0.0	N.A.	N.A.

CBMC • LIGHTING SOLUTIONS

5555 MORETOWN DR., SUITE G | INDIANAPOLIS, IN 46217
317 780 8350 | WWW.CBMCINC.COM

SEE MORE

Hinkle Ridge

SITE LAYOUT

Sheet	1 of 1
Project	5555 MORETOWN DR.
Revision	CB27838-SITE-2

HINKLE RIDGE

Planned Development Petition



Cicero/Jackson Township Plan Commission
June 14 2025

TABLE OF CONTENTS

HINKLE RIDGE



Developer/Builder:

Estridge Homes
Clint Mitchell, Chief Executive Officer
Doug Pedersen, Vice-President of
Land Development
645 West Carmel Drive, Suite #130
Carmel, IN 46032

Engineering Firm:

Kimley Horn
Grant Shortridge
500 East 96th Street #300
Indianapolis, IN 46240

Law Firm:

Church Church Hittle + Antrim
Matthew Skelton, Attorney
Andrew Wert, Land Use Professional
2 North 9th Street
Noblesville, IN 46060

Tab 1 Executive Summary

Tab 2 Location Exhibit

Tab 3 Zoning Exhibit

Tab 4 Preliminary Development Plan

Tab 5 Pedestrian Pathways

Tab 6 Lighting Plan

Tab 7 Buffer Plan

Tab 8 Amenity Area & Entry Signs

Tab 9 Phasing Plan

Tab 10 Drain Reconstruction

Tab 11 Home Elevations

EXECUTIVE SUMMARY

HINKLE RIDGE



Estridge Development Company is pleased to introduce Hinkle Ridge, a single-family residential community located on 78 acres at the southwest corner of Deming Road and East 236th Street, and 40 acres on the east side of Deming Road. Estridge Homes has a long record of building the finest semi-custom neighborhoods in central Indiana. The heart of our neighborhoods is a sense of lifestyle where we emphasize an elevated sense of place, amenities, landscaping and streetscapes. We believe that we can bring a home product and neighborhood experience to Cicero/Jackson Township that does not currently exist.

The proposal is to rezone the acreage from AG Agricultural to R3 Residential. We would then follow with a Planned Development overlay petition to facilitate development of the plan. The community will feature multiple product lines to be developed on 97', 77' and 62' wide lots. The plan will also feature an amenity area, pedestrian trails, with significant green space/preservation areas.

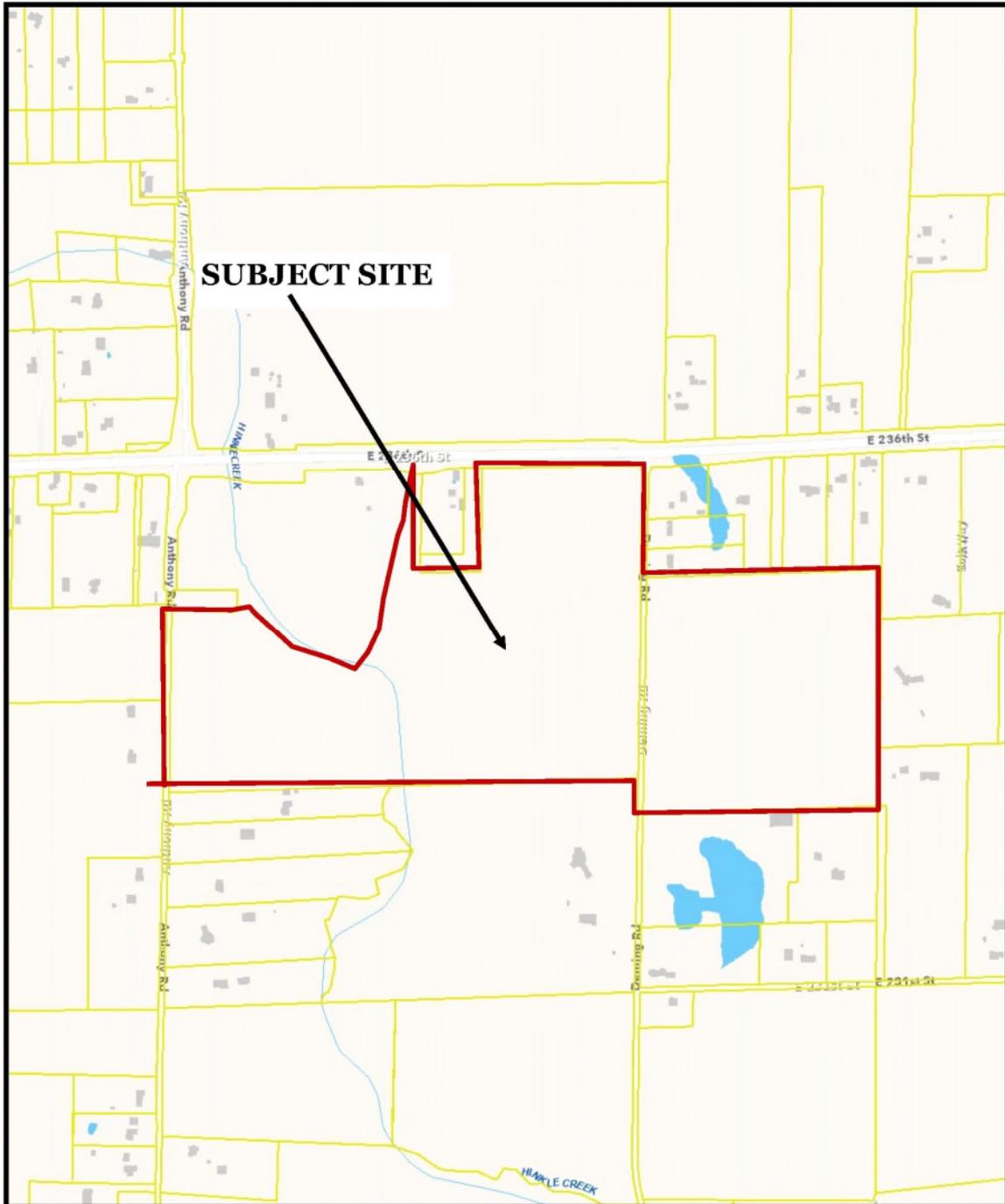
Hamilton County Regional Utility District will serve the development with sanitary sewer and water utilities. To facilitate stormwater drainage, Estridge is working with the Hamilton County Drainage Board and will reconstruct a portion of the Revis Carson regulated drain. A traffic study has been commissioned by the Hamilton County Highway Department to ensure safe traffic design.

The Town of Cicero is currently undergoing an update of its Comprehensive Plan. The future land use maps show this area as General Agriculture and recommend homes with high quality materials, and that natural areas be preserved.

Estridge and its team look forward to working with community leaders and neighbors to make Hinkle Ridge the right fit for the Cicero area community.

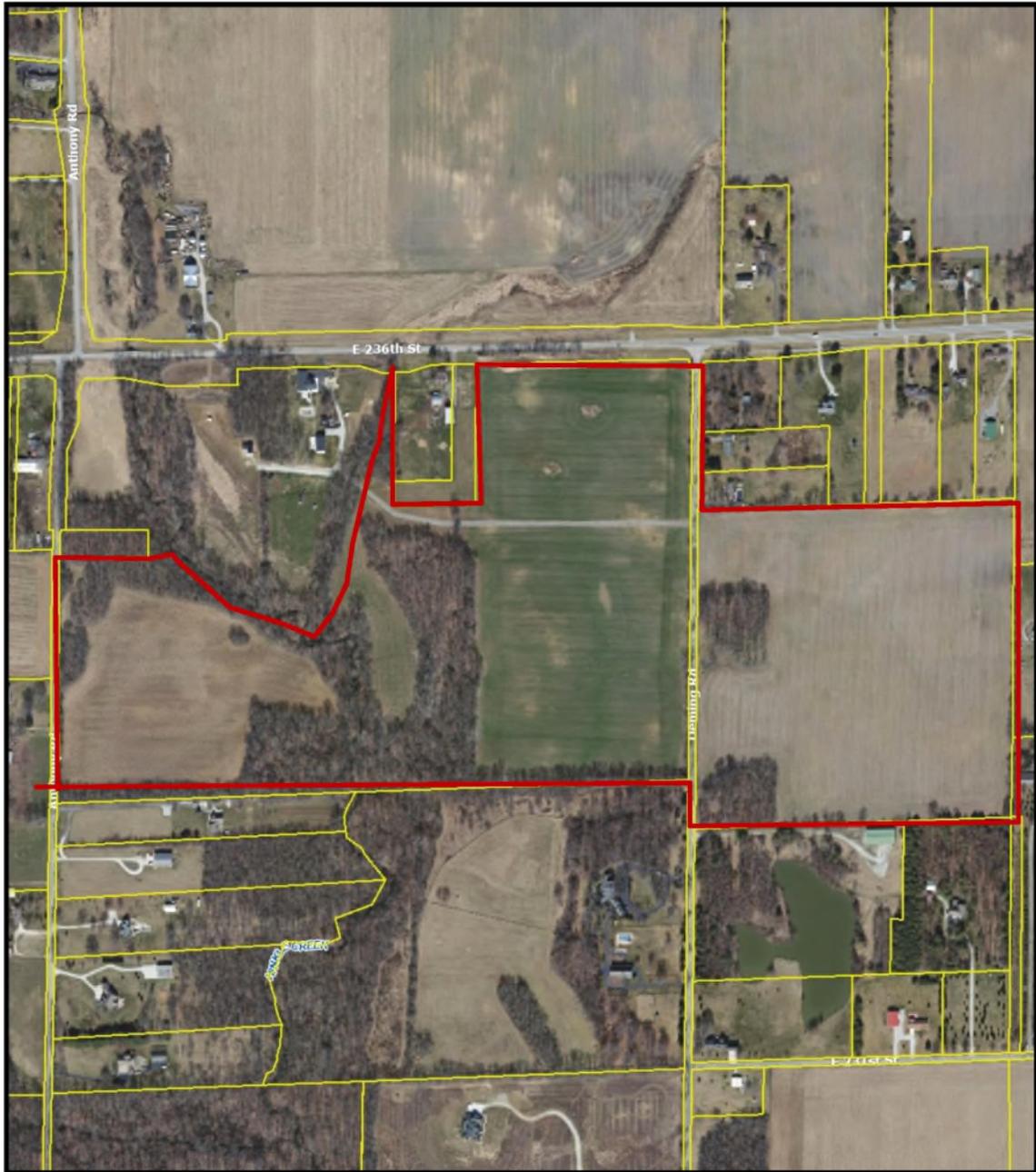
LOCATION EXHIBIT

HINKLE RIDGE



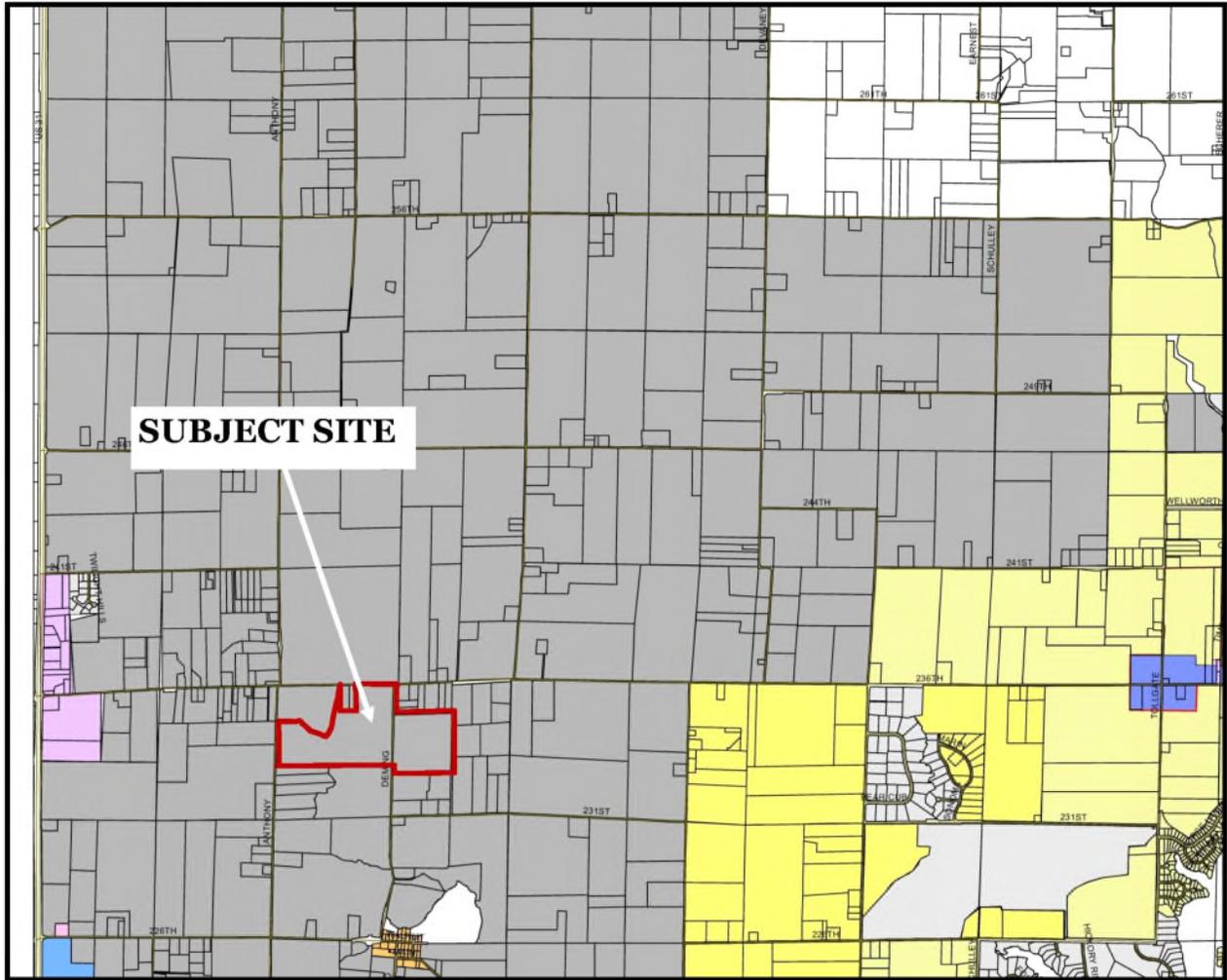
LOCATION EXHIBIT

HINKLE RIDGE



ZONING EXHIBIT

HINKLE RIDGE



Legend	
Zoning_201410211	
[White box]	<all other values>
Layer	
[Green box]	ZONING
[Grey box]	ZONING_AG
[Light Green box]	ZONING_AOD
[Pink box]	ZONING_C1
[Light Blue box]	ZONING_C2
[Blue box]	ZONING_C3
[Light Blue box]	ZONING_C4
[Dark Blue box]	ZONING_DC
[Dark Grey box]	ZONING_MP
[Light Blue box]	ZONING_NC
[Light Blue box]	ZONING_OC
[Light Blue box]	ZONING_PUD
[Light Blue box]	ZONING_R1
[Yellow box]	ZONING_R2
[Yellow box]	ZONING_R3
[Orange box]	ZONING_R4
[Orange box]	ZONING_R5
[Pink box]	ZONING_R6

PEDESTRIAN TRAILWAYS

HINKLE RIDGE



LIGHTING PLAN

HINKLE RIDGE



LifeStyle Small (XDLs)
Outdoor Decorative Area Light

FEATURES & SPECIFICATIONS

Construction:

- High performance clear polycarbonate lens
- High performance clear polycarbonate housing
- High performance clear polycarbonate mounting arm
- High performance clear polycarbonate mounting bracket
- High performance clear polycarbonate mounting plate
- High performance clear polycarbonate mounting post
- High performance clear polycarbonate mounting nut
- High performance clear polycarbonate mounting washer
- High performance clear polycarbonate mounting bolt
- High performance clear polycarbonate mounting screw
- High performance clear polycarbonate mounting cap
- High performance clear polycarbonate mounting cap nut
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- High performance clear polycarbonate mounting cap bolt
- High performance clear polycarbonate mounting cap screw
- High performance clear polycarbonate mounting cap cap nut
- High performance clear polycarbonate mounting cap cap washer
- High performance clear polycarbonate mounting cap cap bolt
- High performance clear polycarbonate mounting cap cap screw

Electrical:

- High performance clear polycarbonate mounting arm
- High performance clear polycarbonate mounting bracket
- High performance clear polycarbonate mounting post
- High performance clear polycarbonate mounting nut
- High performance clear polycarbonate mounting washer
- High performance clear polycarbonate mounting bolt
- High performance clear polycarbonate mounting screw
- High performance clear polycarbonate mounting cap
- High performance clear polycarbonate mounting cap nut
- High performance clear polycarbonate mounting cap washer
- High performance clear polycarbonate mounting cap bolt
- High performance clear polycarbonate mounting cap screw

Material:

- High performance clear polycarbonate mounting arm
- High performance clear polycarbonate mounting bracket
- High performance clear polycarbonate mounting post
- High performance clear polycarbonate mounting nut
- High performance clear polycarbonate mounting washer
- High performance clear polycarbonate mounting bolt
- High performance clear polycarbonate mounting screw
- High performance clear polycarbonate mounting cap
- High performance clear polycarbonate mounting cap nut
- High performance clear polycarbonate mounting cap washer
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Lighting:

- High performance clear polycarbonate mounting arm
- High performance clear polycarbonate mounting bracket
- High performance clear polycarbonate mounting post
- High performance clear polycarbonate mounting nut
- High performance clear polycarbonate mounting washer
- High performance clear polycarbonate mounting bolt
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- High performance clear polycarbonate mounting cap bolt
- High performance clear polycarbonate mounting cap screw

Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description	BUG Rating
	15	X-55	Single	8574	0.900	62	XDLs-09L-5D-UNV-30K8	B3-U0-G1

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Streets - Left	Illuminance	Fc	0.11	3.8	0.0	N.A.	N.A.
Streets - Right	Illuminance	Fc	0.11	3.8	0.0	N.A.	N.A.

LIGHTING NOTES:

- Mounting Height = 27'
- Light Loss Factor = 0.90
- Footcandle Values Calculated @ Grade
- Reflectance Values = 80/50/20 (Office spaces) / 50/20/20 (warehouse areas)

National Lighting Vendor:

For pricing and technical assistance contact:
 Rob Thomson of CBMC INC, tel# 317-828-4119, rthomson@cbmcinc.com

CBMC LIGHTING SOLUTIONS
 5855 KOPETSKY DR., SUITE G, | INDIANAPOLIS, IN 46217
 317-780-8350 | WWW.CBMCINC.COM

SEE MORE

Hinkle Ridge

SITE LAYOUT

Scale	1" = 100'	Drawing No.	LP1
Date	8/1/20	Client	CB27838-SITE-2
Drawn By	LR	Checked By	

Contractor to check and verify all dimensions on site before commencing any work shown.

BUFFER PLAN

HINKLE RIDGE



AMENITY AREA & ENTRY SIGNS

HINKLE RIDGE

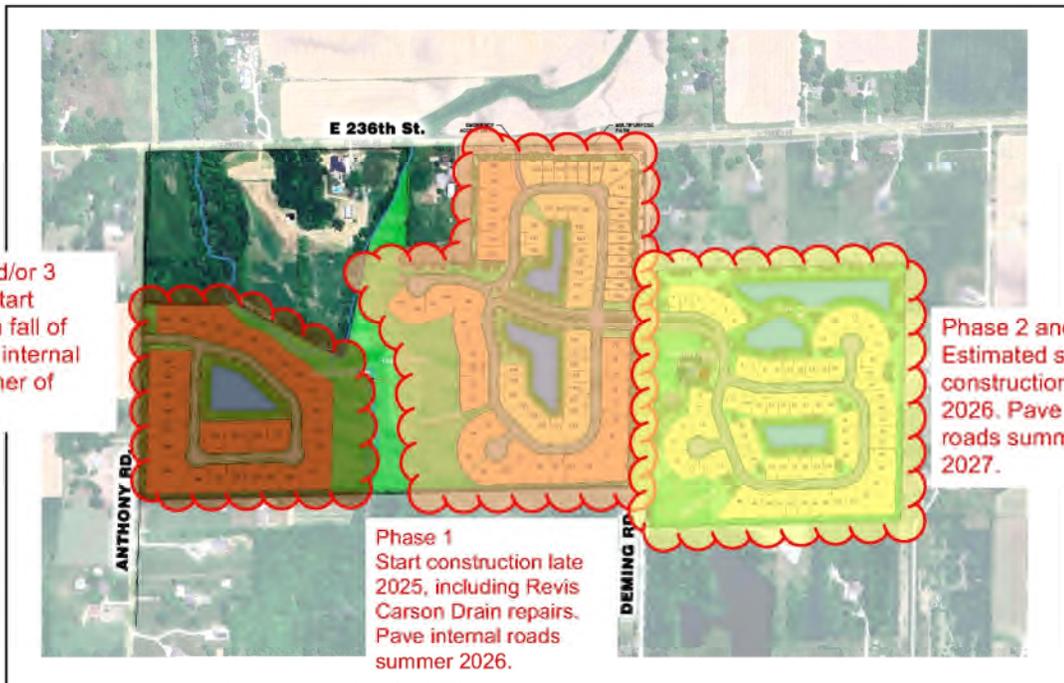


PHASING PLAN

HINKLE RIDGE



Phase 2 and/or 3
Estimated start
construction fall of
2026. Pave internal
roads summer of
2027.

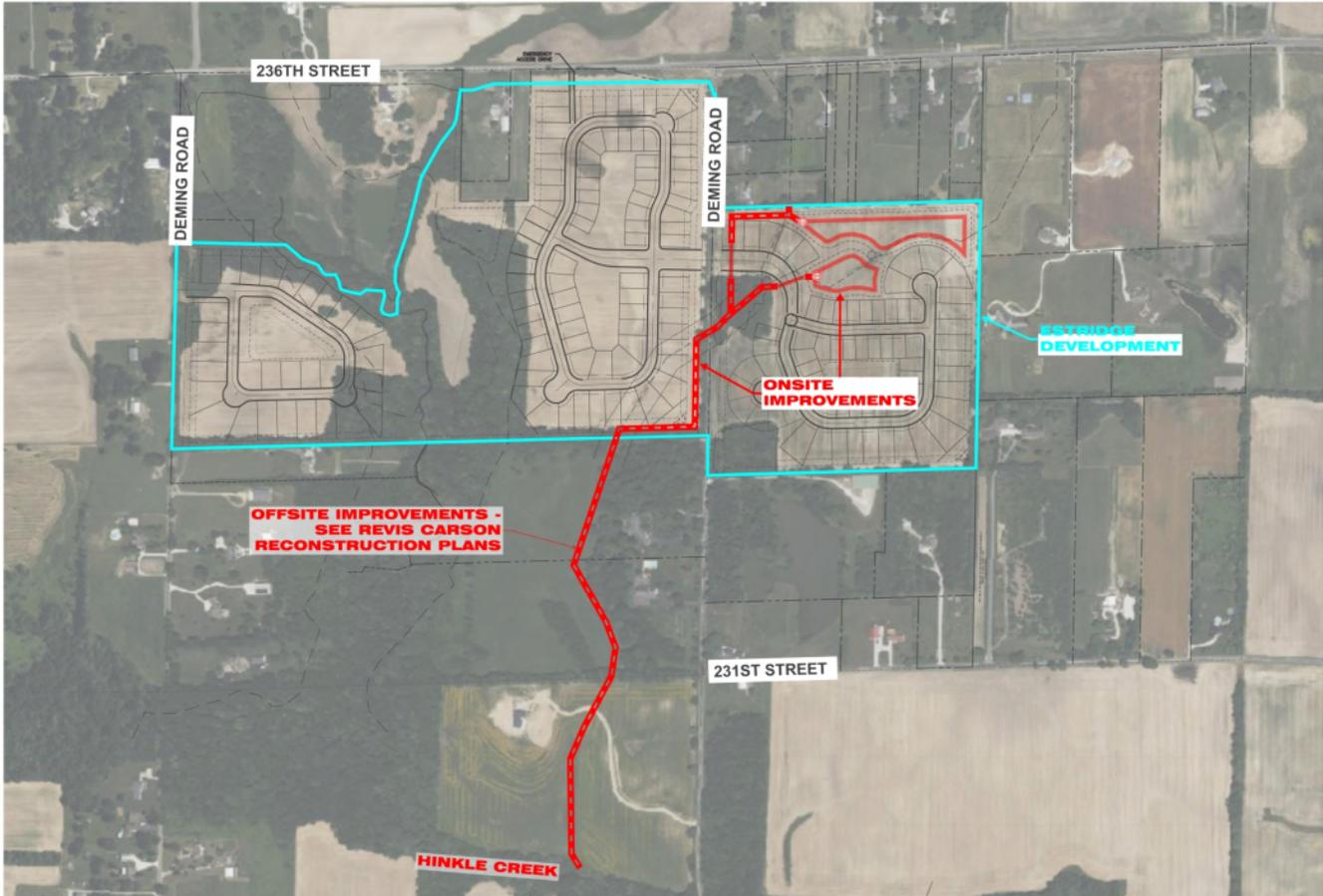


Phase 1
Start construction late
2025, including Revis
Carson Drain repairs.
Pave internal roads
summer 2026.

Phase 2 and/or 3
Estimated start
construction fall of
2026. Pave internal
roads summer of
2027.

DRAIN RECONSTRUCTION

HINKLE RIDGE



REVIS-CARSON DRAIN RECONSTRUCTION BY ESTRIDGE

HOME ELEVATIONS

HINKLE RIDGE



HOME ELEVATIONS

HINKLE RIDGE



HOME ELEVATIONS

HINKLE RIDGE



HOME ELEVATIONS

HINKLE RIDGE



HOME ELEVATIONS

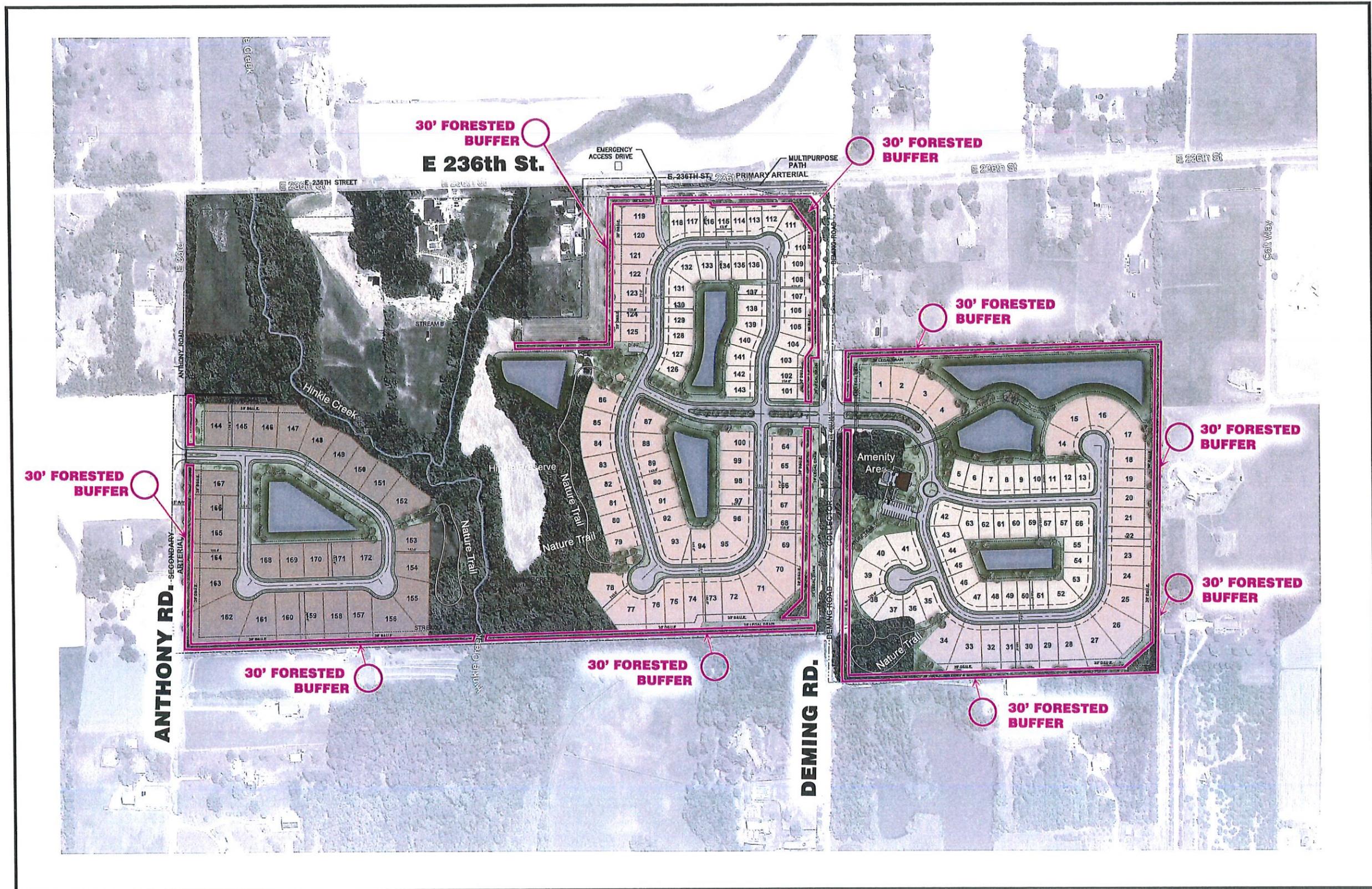
HINKLE RIDGE

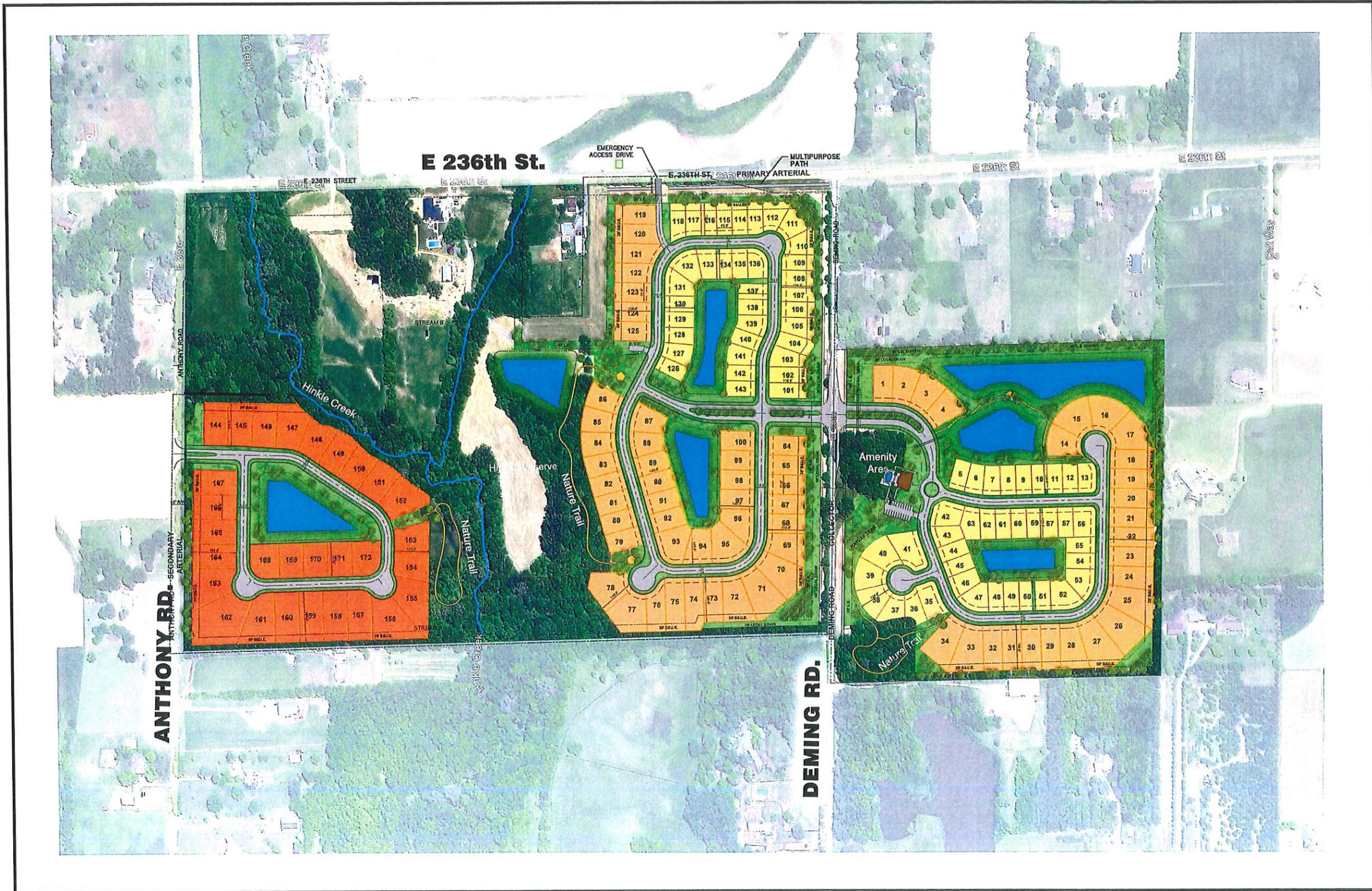


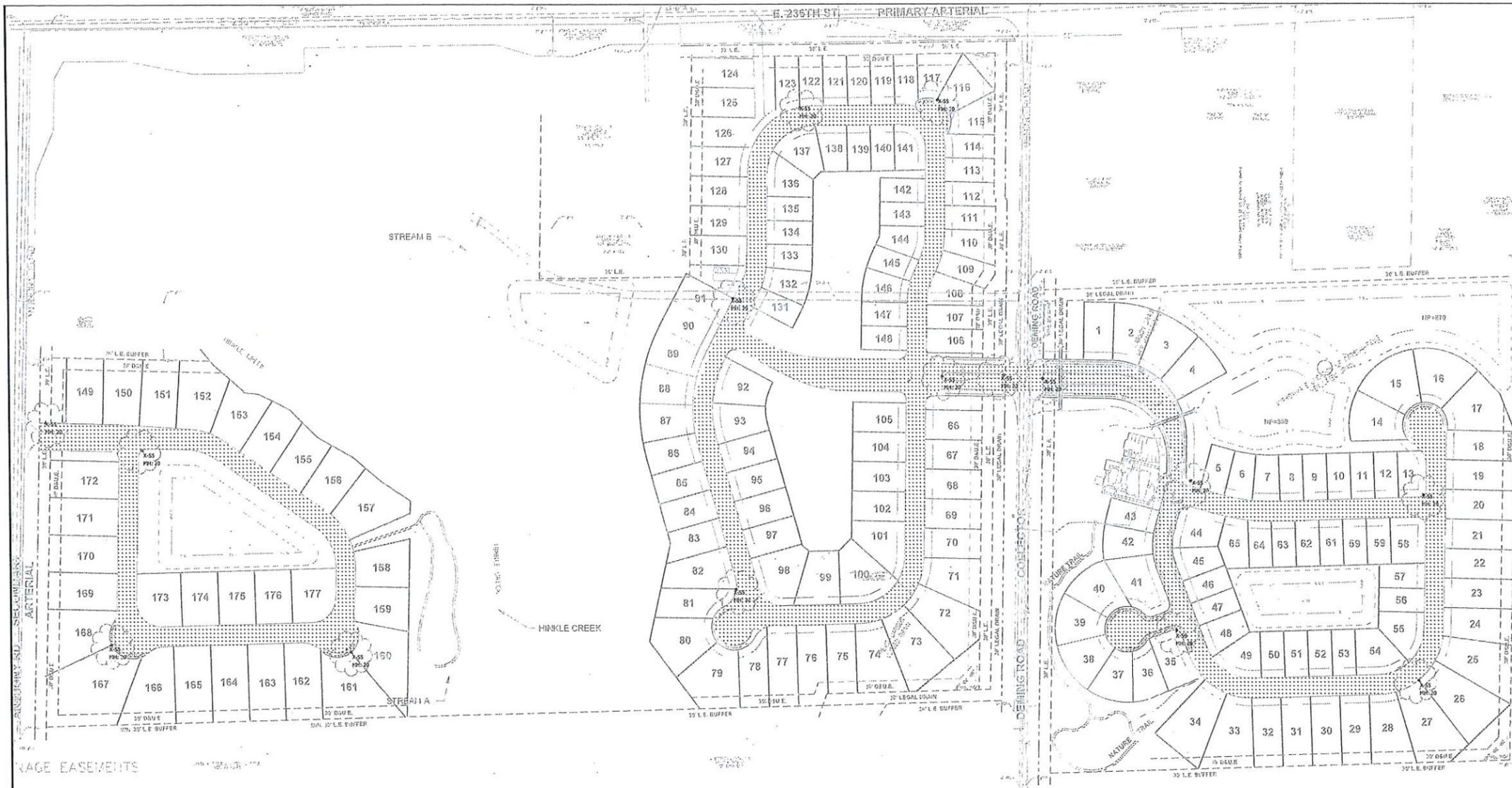
HOME ELEVATIONS

HINKLE RIDGE









LifeStyle Small (XDLS)

Outdoor Decorative Area Light

OVERVIEW	
Lumen Package (lm)	3,000 - 17,000
Wattage Range (W)	20 - 105
Efficacy Range (LPW)	139 - 164
Weight lbs (kg)	24 (10.9)

QUICK LINKS

[Ordering Guide](#) [Performance](#) [Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Cast aluminum. Wiring emerges from crown through compression seal fitting to prevent water entry. One-piece silicone gasket seals crown to shade for water and dust-tight construction.
- Spun aluminum shade. Two shade styles available - A - Angle and B - Bell.
- Brackets are extruded and cast aluminum assemblies or fabrications. All decorative elements are die cast or extruded aluminum.
- Luminaire is proudly made in the U.S.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 24 lbs in carton.

Optical System

- Low glare mid-powered LEDs available in 5000K, 4000K, 3500K, 3000K and 2700K color temperatures per ANSI C78.377. Also available in Phosphor Converted Amber with Peak Intensity at 610nm.
- 6 distribution types SW, 4F, 50, SR, 5D & AD
- Diffused lens version provides maximum visual comfort with reduced brightness and LED pixelation.
- Minimum CRI of 80.
- Zero uplight.

Electrical

- High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection (6KV surge standard).
- 0-10V dimming (10% - 100%) Optional.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- Total harmonic distortion (THD): <20%
- Operating temperature: -40°C to +40°C (-40°F to +104°F).
- Power factor (PF): >90

Installation

- Classic Hook (CH) and Side Arm (SA - 4" O.D. minimum pole top required) available. See Steel Round Pole and Aluminum Round Pole data sheets for pole selection information.
- Side Arm pole mount requires LSI B3 reduced drilling pattern.
- Classic hook mount requires a 4" O.D. pole or tenon.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsi.com/resources/terms-conditions-warranty/> for more information.

Listings

- Listed to UL 1598 and UL B750.
- Suitable for wet locations.
- US patent 7,828,456 8,002,428, 8,177,386 & 8,434,893
- Meets Buy American Act requirements.
- DarkSky Approved, with 3000K and warmer color temperature selection.
- IP66 rated Luminaire per IEC 60598-1.
- DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/DQL to confirm which versions are qualified.

Controls

- Integral passive infrared Bluetooth™ motion and photocell sensor options. Fixtures operate independently and can be commissioned via an iOS or Android configuration app.
- LSI's AirLink™ Blue lighting control system is a simple feature rich wireless Bluetooth mesh network. The integrated fixture sensor module provides wireless control of grouped fixtures based on motion sensors, daylight or a fully customizable schedule. Updates and modifications to the control strategy are easily implemented via an intuitive iOS app.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 373-3200 • www.lsi.com
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Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description	BUG Rating
⊙	15	X-S5	Single	8574	0.900	62	XDLS-09L-5D-UNV-30K8	B3-U0-G1

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Streets - Left	Illuminance	Fc	0.11	3.8	0.0	N.A.	N.A.
Streets - Right	Illuminance	Fc	0.11	3.8	0.0	N.A.	N.A.

LIGHTING NOTES:

- Mounting Height = 20'
- Light Loss Factor = 0.90
- Footcandle Values Calculated @ Grade
- Reflectance Values - 80/50/20 (office spaces)
50/30/20 (warehouse areas)

National Lighting Vendor:
 For pricing and technical assistance contact:
 Rob Thomson of CBMC INC, tel#
 317-828-4119, rthomson@cbmcinc.com

All electrical work shall comply with National, State, and Local codes including and not limited to the National Electric Code, NFPA 101 Life Safety Code, ASHREA and for IECC Energy Codes.

The information contained in this document is proprietary to CBMC Lighting Solutions. This document is prepared for a specific site and incorporates calculations based on data available from the client at this time. By accepting and using this document, the recipient agrees to protect its contents from further dissemination, (other than that within the organization necessary to evaluate such specification) without the written permission of CBMC Lighting Solutions. The contents of this document are not to be reproduced or copied in whole or in part without the written permission of CBMC Lighting Solutions. copyright © 2018 CBMC Lighting Solutions all rights reserved.

CBMC LIGHTING SOLUTIONS

5855 KOPETSKY DR. SUITE G. | INDIANAPOLIS, IN 46217
 317-780-8350 | WWW.CBMCINC.COM

SEE MORE

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and LED lumen package, location adjustments, and other variable field conditions.

Contractor to check and verify all dimensions on site before commencing any work shown.

Hinkle Ridge

SITE LAYOUT

Scale:	1" = 150'	Drawing No:	LP1
Date:	6/1/25	Project No:	
Drawn By:	SJM		

CB27838-SITE-2



CICERO / JACKSON TOWNSHIP PLAN COMMISSION

**CICERO/JACKSON
TOWNSHIP
PLAN COMMISSION**

AESTHETIC REVIEW OVERLAY DISTRICT APPLICATION

APPLICANT MUST COMPLETE THE FOLLOWING

Property Owner: GERARD ANDRE GODDARD			Phone: 317.403-8616		
Property Address: 1784 E 226 ST			Email*:		
City: CICERO		State: IN		ZIP Code: 46034	
Tenant Business Name: OMEGA INTERNATIONAL AUTO REPAIR					
Petitioner/Contact: SAME			Phone:		
Address: SAME			Email*:		
City: SAME		State:		ZIP Code:	
Cell Phone:			Fax:		
Current Property Use: AUTO REPAIR					
Proposed Property Use: FENCE					
General Contractor/ Builder: OWNER			Phone:		
Address:			Email*:		
City:		State:		ZIP Code:	
Engineer:			Phone:		
Address:			Email*:		
City:		State:		ZIP Code:	
Attorney:			Phone:		
Address:			Email*:		
City:		State:		ZIP Code:	
Architect:			Phone:		
Address:			Email*:		
City:		State:		ZIP Code:	
Sign Company:			Phone:		
Address:			Email*:		
City:		State:		ZIP Code:	
Landscape:			Phone:		
Address:			Email*:		
City:		State:		ZIP Code:	

OFFICE USE ONLY

AROD Category		Docket #: PC-0625-07-AG	
<input type="checkbox"/> Sign Package	<input type="checkbox"/> New Construction	Date of Application: 05/16/2025	
<input type="checkbox"/> Façade Improvement	<input type="checkbox"/> Other	Date of Expiration:	
Check List		Application Fee: \$200.00	
<input type="checkbox"/> Sign Package	<input type="checkbox"/> Lighting Plans	Date of Hearing: 06/11/2025	
<input type="checkbox"/> Landscape Plans	<input type="checkbox"/> Building Elevations	Date of Decision:	
<input type="checkbox"/> Other:		<input type="checkbox"/> Approved	<input type="checkbox"/> Not Approved

SITE PLAN

PART OF THE S.W. QUARTER, SECTION 6, TOWNSHIP 19 NORTH, RANGE 4 EAST
JACKSON TOWNSHIP, HAMILTON COUNTY, INDIANA

GERARD A. GOODBOLD SR.
AND CARLAS GOODBOLD
INSTR #200600044393

LAND DESCRIPTION

PART OF THE SOUTHWEST QUARTER SECTION 6, TOWNSHIP 19 NORTH, RANGE 4 EAST IN HAMILTON COUNTY, INDIANA BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER SECTION 6, TOWNSHIP 19 NORTH, RANGE 4 EAST; THENCE ON THE NORTH LINE OF SAID SOUTHWEST QUARTER NORTH 89 DEGREES 28 MINUTES 22 SECONDS EAST 198.26 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION:

THENCE NORTH 76 DEGREES 29 MINUTES 48 SECONDS WEST 63.88 FEET;
THENCE NORTH 00 DEGREES 25 MINUTES 38 SECONDS EAST 344.85 FEET;
THENCE NORTH 64 DEGREES 28 MINUTES 37 SECONDS EAST 102.12 FEET;
THENCE NORTH 69 DEGREES 18 MINUTES 11 SECONDS EAST 80.60 FEET;
THENCE NORTH 45 DEGREES 40 MINUTES 58 SECONDS EAST 168.34 FEET;
THENCE NORTH 33 DEGREES 35 MINUTES 24 SECONDS EAST 124.66 FEET;
THENCE NORTH 45 DEGREES 01 MINUTES 07 SECONDS EAST 71.50 FEET;
THENCE NORTH 65 DEGREES 56 MINUTES 18 SECONDS EAST 47.33 FEET;
THENCE SOUTH 83 DEGREES 39 MINUTES 50 SECONDS EAST 41.63 FEET;
THENCE SOUTH 48 DEGREES 52 MINUTES 08 SECONDS EAST 31.47 FEET;
THENCE SOUTH 00 DEGREES 42 MINUTES 57 SECONDS WEST 395.93 FEET;
THENCE NORTH 89 DEGREES 22 MINUTES 22 SECONDS WEST 304.51 FEET TO THE SOUTH LINE OF SAID SOUTHWEST QUARTER; THENCE ON SAID SOUTH LINE SOUTH 89 DEGREES 28 MINUTES 22 SECONDS WEST 137.80 FEET TO THE POINT OF BEGINNING, CONTAINING 4.17 ACRES.

LEGEND

- (M) = MEASURED DIMENSIONS
- (GOV) = GOVERNMENT RECORD DIMENSION
- (GR) = GOVERNMENT RECORD
- X- = FENCE LINE
- R.D.E. = 75' EASEMENT EACH SIDE OF THE CENTERLINE OF A TILE DRAIN, 75' EASEMENT FROM THE TOP OF BANK OF EACH SIDE OF AN OPEN DRAIN
- PROPOSED GRADE
- EXISTING GRADE

NOTES

THE PURPOSE OF THIS SITE PLAN IS FOR THE PROPOSED BUILDING.

THE SEPTIC WILL BE DESIGNED BY OTHERS.

BENCHMARK INFORMATION

HORIZONTAL AND VERTICAL CONTROL:

COORDINATE SYSTEM:
US STATE PLANE 1983 (AT GROUND)

PROJECT DATUM:
WORLD GEODETIC SYSTEM (WGS 1984)

VERTICAL DATUM
NAVD 88

ZONE:
INDIANA EAST 1301

GEOID MODEL:
GEOID12A (CONUS)

COORDINATE UNITS US SURVEY FEET
DISTANCE UNITS US SURVEY FEET
HEIGHT UNITS US SURVEY FEET

FLOOD ZONE DEFINITION

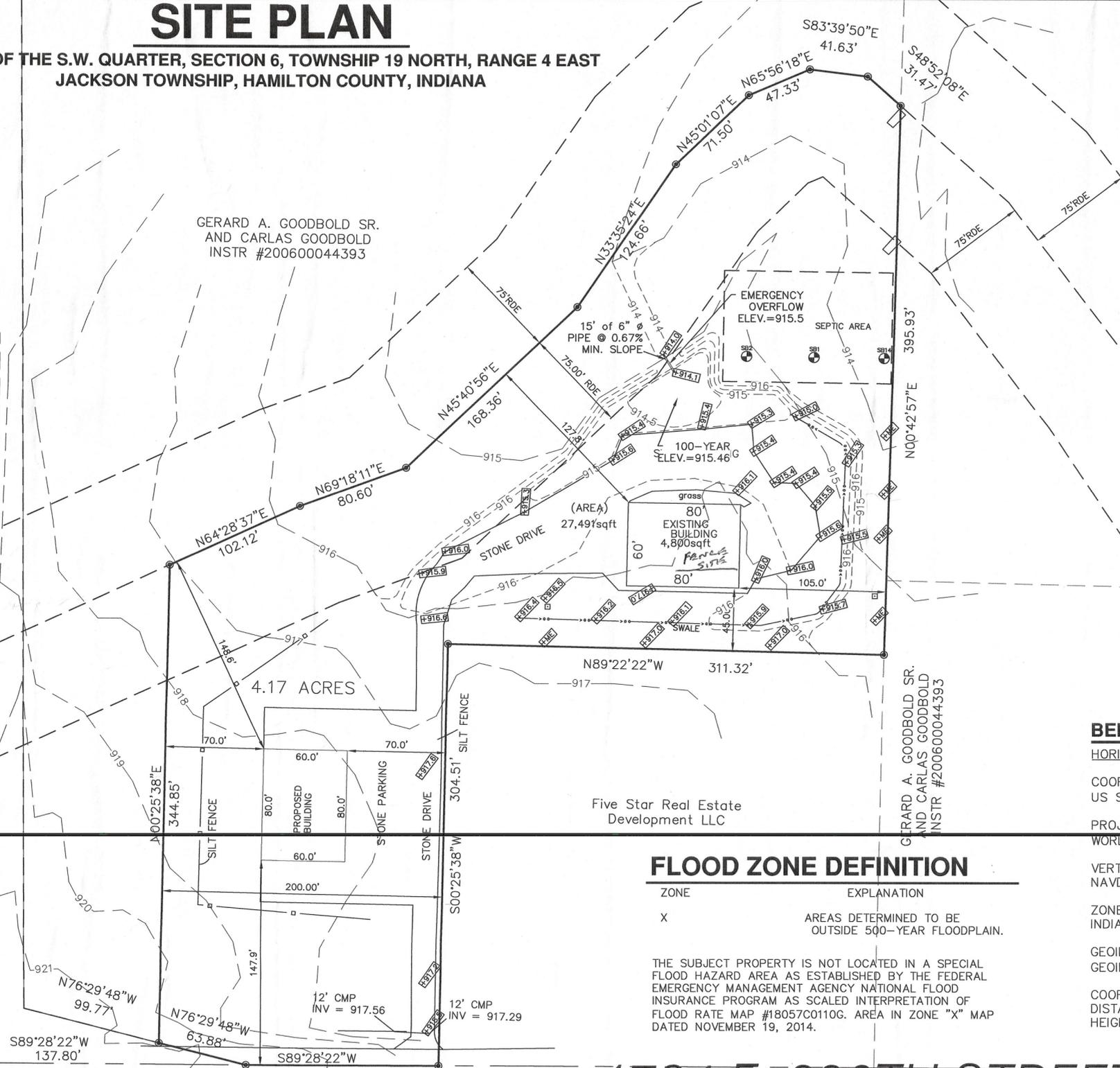
ZONE	EXPLANATION
X	AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM AS SCALED INTERPRETATION OF FLOOD RATE MAP #18057C0110G. AREA IN ZONE "X" MAP DATED NOVEMBER 19, 2014.



LOCATION MAP

STATE ROAD 31
WEST LINE S.W. 1/4, SEC. 6-19-4
N00°55'30"W 2648.44'



S.W. COR. S.W. 1/4, SEC. 6-19-4
SOUTH LINE S.W. 1/4, SEC. 6-19-4
N 89°28'22" E 1320.00'

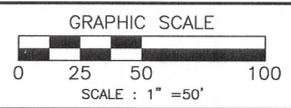
226TH STREET

1784 E. 226TH STREET

THE WITHIN SITE PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE POLICY AND ARE THEREFORE SUBJECT TO ANY STATEMENT OF FACTS REVEALED BY EXAMINATION OF SCHEDULE "A" AND SCHEDULE "B" OF A TITLE POLICY.

UTILITY NOTE

THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF EXISTING UTILITIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



REV. DATE	BY	DESCRIPTION

K. Nathan Patton
R.L.S. LS2040007 DATE: 11-22-23

MILLER SURVEYING INC.
948 CONNER STREET
NOBLESVILLE INDIANA 46060
Ph. # (317) 773-2644 FAX 773-2694

LOCATION: PART OF THE S.W. 1/4, SECTION 6-19-4, JACKSON TWP., HAMILTON CO., INDIANA	DRAWN BY: BDD	CHK'D BY: BDD
FIELD WORK COMPLETED:	SCALE: 1" = 60'	FIELD BOOK:
CLIENT: ALEJANDRO GARCIA-VASQUEZ	DATE: 11-2-23	PAGE:
DESCRIPTION: SITE PLAN	JOB NUMBER: B41242	SURVEY 4 FILE:









CICERO / JACKSON TOWNSHIP PLAN COMMISSION

AESTHETIC REVIEW FINDINGS OF FACTS

Docket: PC-

Petitioner Name:

Findings of Fact/Decision Criteria:

The Plan Commission may approve, not approve, or approve with conditions. The Plan commission shall make written findings and issue a written decision:

The Petitioner has presented information to the Plan Commission which confirms compliance with all requirements of the Cicero/Jackson Township Aesthetic Review Regulations, Zoning Ordinances, Comprehensive Plan and all other applicable Town and Township Codes and Ordinances.

Findings of Facts:

This criterion has / has not been met.

Conditions Approved:

Signature: _____

Date: _____



CICERO/JACKSON TOWNSHIP PLAN COMMISSION

Director's Report

May 2025

Permit Revenue: May 2025 = \$4,629 YTD: \$17,906

May 2024 = \$5,086 YTD: \$19,738

Difference: Month = -\$457 YTD: \$-1,832

- We have issued a total of 22 building permits for May 2025.
- 13 have been inside the corporate limits (of which 0 have been new homes).
- We have issued 9 in Jackson Township (of which, 0 have been for a new home).
- Estimated Cost of projects permitted \$1,209,335.

The Planning Commission next scheduled meeting is June 11th at Red Bridge Community Building. The BZA will meet June 19th at the Town Hall.

Please feel free to email, call or stop by the office anytime.

At your service!

Frank Zawadzki