



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Agenda**

March 20<sup>th</sup>, 2025

7:00 p.m.

**Roll Call of Members**

Present:

- Scott Bockoski - Chairman
- Mike Berry
- Harrison Massone
- Mark Thomas
- Steve Zell
- Aaron Culp - Legal Counsel
- Dan Strong filling in for Mr. Zawadzki
- Terri Strong - Recorder

Absent:

Frank Zawadzki-Plan Director-

1. **Declaration of Quorum** Chairman Bockoski declared a quorum with 5 members present.
2. **Approval of Minutes**-Chairman Bockoski noted that the minutes being approved would be the amended ones not sent in the packet but provided to Board, will sign off next month but can approve tonight.  
**Mr. Zell made motion to approve minutes from February 20<sup>th</sup>, 2025. Mr. Berry second. All present in favor.**

Approval of Findings of Facts-

**Mr. Zell made motion to approve Findings of Facts from February 20<sup>th</sup>, 2025. Mr. Berry second. All present in favor.**

1. **Old Business:** No old business

Chairman Bockoski stated for the public, the BZA is a quasi-judicial branch of the local government. Will be discussing the items listed on the docket and issues or stipulations to consider for each item on the docket. All comments/questions should be directed to the Board members not the petitioners or parties with the petitioners. Attendants must sign in if planning to speak. You must state name and address each time you approach the podium. Each person is limited to three minutes. Each item typically has time set aside for public hearing, if someone is in agreement with someone that previously spoke, stated agreement and move on in interest of time. Like to remind everyone that all motions are made in the affirmative but that does not mean it is the way we will vote.

2. **New Business:**

**Docket#** BZA-0325-10-AG

**Petitioner:** Stephen Moore

**Property address:** 4114 E 236<sup>th</sup> Street, Cicero, IN 46034

A Development Standards Variance application has been submitted regarding the property located at 4114 E 236<sup>th</sup> Street, Cicero IN, 46034 to: Allow an accessory structure in front of the primary structure. Whereas Article 7.5 of the Cicero/Jackson Township Zoning Ordinance states that an accessory structure shall only be placed to the rear or side of the primary structure in the "AG" district.

Stephen Moore 4114 E. 236<sup>th</sup> Street, Cicero, IN. Just built and moved into new home on property, there is a dilapidated barn on the property that is beyond repair. Plan is to build a new pole barn close to the footprint of the old barn.

**331 EAST JACKSON ST. P.O. Box 650 CICERO, IN 46034  
PHONE: 317-984-5845 FAX: 317-984-5938 WWW.CICEROIN.ORG**



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Docket No. BZA-0625-21-AG**

**Petitioner: Jason Bezy**

**Property Address: 22400 Cammack Road, Noblesville, IN 46062**

A Development Standards Variance application has been submitted regarding the property located at 22400 Cammack Road, Cicero IN, 46034 concerning Article 7.5 of the Cicero/Jackson Township Zoning Ordinance to: Allow an accessory structure in front of the primary structure. Whereas Article 7.5 AS-02 Accessory Structure Standards of the Cicero/Jackson Township Zoning Ordinance states that an accessory structure shall be to the side or rear of the primary structure only.

5. **Plan Director's Report:** See packet.
6. **Chairperson's Report:**
7. **Legal Counsel's Report:**
8. **Board Member Comments:**
9. **Next Planned Board of Zoning Appeals Meeting:**  
July 17<sup>th</sup>, 2025
10. **Adjournment:**

Location:  
Cicero Town Hall  
70 N Byron Street  
Cicero, IN 46034



## CICERO/JACKSON TOWNSHIP PLAN COMMISSION

Chairman Bockoski complimented Mr. Moore on the information provided in the packet, drawings, pictures very complete. Questioned what is the primary reason you twisted the barn, otherwise you would not have had to be here tonight. Mr. Moore replied he wanted it perpendicular because there is a circle drive for access, as well as if the doors would have been on the north side, leaving the back side of the barn facing the road. Would have been less aesthetically pleasing and closer to the road. Mr. Berry questioned on the usage of the structure, are you planning on running a business out of the structure or strictly personal. Mr. Moore answered strictly personal, there have been old cars visible. Have old cars and collection of motorcycles that do work on. Need for storage. Chairman Bockoski asked if planning on adding any lighting to the structure. Mr. Moore stated soffit like is on the house, motion detector flood lights, all very similar to the house. Chairman Bockoski questioned utilities to the barn. Mr. Moore stated electric at 200 amp and septic is already there for a little bathroom in the shop. Mr. Thomas questioned living quarters. Mr. Moore answered no, garage for myself. Mr. Berry stated the existing barn has been around forever, and many people have strong feelings for nostalgia of it. Surprised not on the registry for historic buildings. Mr. Moore stated it is not; it is over 100 years old, hasn't been used in three decades. Roof is collapsing, backside one main corner posts has collapsed. The building is going to collapse under its own weight soon, floorboards caused accident and are beyond repair. Does not make financial sense for a building that is falling down. No knowledge of on registry. Did post and people have come to take boards for projects. Mr. Berry stated the positioning is such that the side facing 236<sup>th</sup> will be totally blank, no windows, surprised creativity isn't featured. Mr. Moore stated his plan not his people's. Chairman Bockoski questioned the rectangle pace on the pictures. Mr. Moore stated it is the new septic field.

**Mr. Zell made motion to open meeting to the public for this docket. Mr. Massonne second. All present in favor.**

Donald Schuller 9550 E. 256<sup>th</sup> Cicero, IN 46036 In favor of request, barn is replacing old barn, has photo of old barn in his barn.

Cory Theilen 4301 E. 236<sup>th</sup> Cicero. In favor of request. Happy with all Mr. Moore has done to clean up and improve property since he bought it. Feels it will be aesthetically pleasing to the area and usable.

Dan Conder 2842 E. 236<sup>th</sup> Cicero. I am a 44-year resident and have watched the barn deteriorate over the years. Impressed with what has been done and he should be able to have barn where he wants it.

**Mr. Massonne made motion to close public hearing. Mr. Zell second. All present in favor.**

Chairman Bockoski questioned if other comments from Board members. Mr. Zell reiterated that the packet provided was excellent, making the Boards job easier when the details are provided. Mr. Berry stated we have put time limits on completion in the past. Mr. Culp stated rules include a completion time of one year, could add a different time but that is the default.

**Mr. Massonne made motion to approve Docket #BZA-0325-10-AG as presented. Mr. Thomas second. Mr. Zell-approve, Mr. Thomas-approve, Mr. Massonne-approve, Mr. Berry-approve, Mr. Bockoski-approve 5-0**

Chairman Bockoski stated the next three dockets will be discussed as one but voted on separately.

**Docket#** BZA-0325-11-NC

**Petitioner:** Paul Vondersaar

**Property address:** 70 W Buckeye Street, Cicero, IN 46034

A Development Standards Application seeking relief from Article 4.2 of the Cicero/Jackson Township Zoning Ordinance has been submitted regarding the property located at 70 W Buckeye Street, Cicero IN, 46034 to: Allow a parking lot to encroach into both front and side yard setbacks. Whereas Article 4.2 states that a structure shall have twelve (12) foot setbacks in the side yard and fifteen (15) foot setbacks in the front yard in the "NC" district.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Docket #** BZA-0325-12-NC

**Petitioner:** Paul Vondersaar

**Property Address:** 70 W Buckeye Street, Cicero, IN 46034

A Development Standards Application seeking relief from Article 4.2 of the Cicero/Jackson Township Zoning Ordinance has been submitted regarding the property located at 70 W Buckeye Street, Cicero IN, 46034 to: allow a parking lot to exceed 60% impervious surface of the Lot Area. Whereas Article 4.2 states that Maximum Lot Coverage cannot exceed 60% of the Lot Area in the "NC" district.

**Docket #** BZA-0325-13-NC

**Petitioner:** Paul Vondersaar

**Property Address:** 70 W Buckeye Street, Cicero, IN 46034

A Development Standards Application concerning Article 7.13 of the Cicero/Jackson Township Zoning Ordinance has been submitted regarding the property located at 70 W Buckeye Street, Cicero IN, 46034 to: Not require the one (1) deciduous shade tree per every ten (10) parking spaces. Whereas Article 7.13 of the Cicero/Jackson Township Zoning Ordinance states that there shall be one (1) deciduous shade tree required for every ten (10) parking spaces in the "NC" district.

Paul Vondersaar 1105 Bear Cub Drive Cicero. Purchased two properties, the barn and house that is now down. We want to put a parking lot that will cover approximately 70% of the property. Will end up with 22-24 parking spaces once done. Don't necessarily need but feel better for tenants, customers and others in the area to have more parking. Chairman Bockoski first part is the setbacks, explain the greenspace. Mr. Vondersaar stated on Byron on west side and front on Buckeye there is green space between property line and street. Mr. Vondersaar shared perspective on the tree amendment, can't easily do tree island in an 8-20 car lot. There are two large trees that are planning to stay. One on Buckeye and one on Byron. The yellow area on the map, plan on landscaping, bushes, or small ornamental trees. Mr. Thomas asked if there was a connection to other parking spaces. Mr. Vondersaar stated yes. Chairman Bockoski asked what business is in building now. Mr. Vondersaar replied Hamilton County Harvest Food Bank. They are taking 2/3 of building, on average they have 3-5 volunteers there at a time. No parking issues currently. That faces Byron Street. The remaining 2600 square feet facing Buckeye, do not know what it will be as of yet. Looking at office/professional space. Mr. Vondersaar stated he will put up signs for private parking until 5:30-6:00 pm so tenants have parking. Mr. Thomas asked if there was one entrance. Mr. Vondersaar stated yes, 14 spaces, 7 on each side, drive down the middle. Chairman Bockoski questioned lighting. Mr. Vondersaar stated perhaps a couple on corners to light the parking lot, probably motion sensor/photocell. We are adding two wall lights on west side for the food bank, it is pretty dark in the am. Mr. Vondersaar stated he will need to add drain structure on Buckeye side to capture before gets to the road.

**Mr. Massonne made motion to open public hearing for these dockets. Mr. Zell second. All present in favor.**  
No public comment.

**Mr. Massonne made motion to close the public hearing. Mr. Zell second. All present in favor.**

**Mr. Massonne made motion to approve Docket No. BZA-0325-11-NC as presented. Mr. Zell second.**

**Mr. Bockoski-approve, Mr. Berry-approve, Mr. Massonne-approve, Mr. Thomas-approve, Mr. Zell-approve 5-0**

**Mr. Massonne made motion to approve Docket No. BZA-0325-12-NC as presented. Mr. Zell second.**

**Mr. Massonne-approve, Mr. Thomas-approve, Mr. Zell-approve, Mr. Bockoski-approve, Mr. Berry-approve 5-0**

**Mr. Massonne made motion to approve Docket No. BZA-0325-13-NC as presented. Mr. Thomas- second.**

**Mr. Thomas-approve, Mr. Zell-approve, Mr. Bockoski-approve, Mr. Berry-approve, Mr. Bockoski-approve 5-0**



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**5. Plan Director's Report:** Mr. Strong gave recap of Mr. Zawadzki's Plan Director report as follows: Permit Revenue for the month of February 2025, \$4448, YTD \$7445. Revenue for February 2024 was \$4174/YTD of \$6575. That is an increase of \$274/\$870. Issued 13 building permits, 11 in corporate limits 0 new homes, additional 2 in Township, 0 new homes. Estimated cost of projects associated with permits is \$12223475. Most is from the new McClure station. Meeting for Plan Commission occurred on the 12<sup>th</sup>. On-site training for MS-4 to become certified from IDEM for stormwater runoff on construction sites. Six individuals from area certified.

Mr. Strong added we do have Jackson Street project starting March 31, 2025. Met with the business owners, will be doing a revitalization of Jackson from 19 to Pearl. Will include new sidewalks on both sides, new streetlights, handicap ramps. Project expected to be completed by December 2025. Last phase is tearing out Jackson Street and putting back in new. We did get a Community Crossing Matching grant, 75/25 matching grant. Mr. Berry questioned if same as east side. Mr. Strong answered that lights will be similar, and in some areas the sidewalks will be wider. Putting in a new waterline as part of the project. The whole project is a \$2.2 million project. Mr. Thomas questioned if total shutdown of the street. Mr. Strong answered the intent is to do one side at a time and will have flaggers to make sure traffic can get through. Street will be the last part of the project.

Mr. Strong informed us that the Plan Commission will have a busy meeting next month, looking to move the Comprehensive Plan to the Town Council for their consideration. Hamilton County is looking to do park impact fees and that will be on the agenda. Last part of business is that Estridge Homes will be on the Docket for rezone. Meeting is at Red Bridge on April 9<sup>th</sup>.

**6. Chairperson's Report: No report.**

**7. Legal Counsel's Report: No report.**

**8. Comments: No comments**

**9. Next Planned Board of Zoning Appeals Meeting:**  
April 17<sup>th</sup>, 2025

**10. Adjournment: Mr. Massonne made a motion to adjourn the meeting. Mr. Zell second. All present in favor.**

**Chairperson:** \_\_\_\_\_

**Secretary:** \_\_\_\_\_

**Date:** \_\_\_\_\_

Location:  
Cicero Town Hall  
70 N Byron Street  
Cicero, IN 46034



CICERO/JACKSON TOWNSHIP PLAN COMMISSION

CICERO / JACKSON TOWNSHIP (BOARD OF ZONING AND APPEALS)

CICERO / JACKSON TOWNSHIP PLANNING AND DEVELOPMENT

APR 25 REC'D

RECEIVED

VARIANCE APPLICATION

OFFICE USE ONLY

Variance Category		Docket #: BZA-0525-15-R1
<input type="checkbox"/> Development Standards	<input type="checkbox"/> Special Exception	Date of Application: April 25th, 2025
<input type="checkbox"/> Land Use	<input type="checkbox"/> Other	Date of Expiration:
Variance Check List		Variance Fee: \$320.00
<input type="checkbox"/> Adjoinder List	<input type="checkbox"/> Legal Notice Copy	Date of Hearing: 05/22/2025
<input type="checkbox"/> Certified Mail Receipts	<input type="checkbox"/> Property Sign	Date of Decision:
<input type="checkbox"/> Additional Applications for Variances	<input type="checkbox"/> Approved	<input type="checkbox"/> Not Approved

APPLICANT MUST COMPLETE THE FOLLOWING

Property Owner: Address: 36 Point Lane, Arcadia, IN 46030

City: Telephone: [REDACTED]

State: IN ZIP Code: 46030

Fax: E-mail: [REDACTED]

Project Address: 36 Point Lane, Arcadia, IN 46030

City: Arcadia State: IN ZIP Code: 46030

Parcel: Subdivision:

General Contractor/ Builder: Address: Bender Homes Telephone:

City: Cicero Fax:

State: IN Cell Phone: [REDACTED]

Variance Request: ZIP Code: 46034 Email: [REDACTED]

Commitments/ Conditions Offered:

We would like to build a pole barn in the back corner of the property along the railroad track side of the property.

See Blue square on drawing. Not to scale.

Code Section Appealed:

height of barn - 27ft tall



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

# CICERO / JACKSON TOWNSHIP (BOARD OF ZONING AND APPEALS)

## VARIANCE APPLICATION

OFFICE USE ONLY		
<b>Variance Category</b>		Docket #: <b>BZA-0525-16-R1</b>
<input type="checkbox"/> Development Standards	<input type="checkbox"/> Special Exception	Date of Application: <b>April 25th, 2025</b>
<input type="checkbox"/> Land Use	<input type="checkbox"/> Other	Date of Expiration:
<b>Variance Check List</b>		Variance Fee: <b>\$25.00</b>
<input type="checkbox"/> Adjoiner List	<input type="checkbox"/> Legal Notice Copy	Date of Hearing: <b>05/22/2025</b>
<input type="checkbox"/> Certified Mail Receipts	<input type="checkbox"/> Property Sign	Date of Decision:
<input type="checkbox"/> Additional Applications for Variances	<input type="checkbox"/> Approved	<input type="checkbox"/> Not Approved
APPLICANT MUST COMPLETE THE FOLLOWING		
Property Owner: Address: 36 Point lane, Arcadia, IN 46034		
City: Telephone:		
		State: IN      ZIP Code: 46030
		Fax:      E-mail:
Project Address: 36 point lane		
City: arcaida		State: <i>IN</i> ZIP Code: 46034
Parcel: 03-02-36-00-00-005.000		Subdivision:
General Contractor/ Builder: Address: 2030 w morse		Telephone:
City: cicero		Fax:
State: IN		Cell Phone:
Variance Request:	ZIP Code: 46034	Email:
Size of barn to exceed 65% of interior home square footage		
Commitments/ Conditions Offered:		
Code Section Appealed:		



# CICERO / JACKSON TOWNSHIP (BOARD OF ZONING AND APPEALS)

CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

## VARIANCE APPLICATION

OFFICE USE ONLY		
Variance Category		Docket #: <b>BZA-0525-17-R1</b>
<input type="checkbox"/> Development Standards	<input type="checkbox"/> Special Exception	Date of Application: <b>April 25th, 2025</b>
<input type="checkbox"/> Land Use	<input type="checkbox"/> Other	Date of Expiration:
Variance Check List		Variance Fee: <b>\$25.00</b>
<input type="checkbox"/> Adjoiner List	<input type="checkbox"/> Legal Notice Copy	Date of Hearing: <b>05/22/2025</b>
<input type="checkbox"/> Certified Mail Receipts	<input type="checkbox"/> Property Sign	Date of Decision:
<input type="checkbox"/> Additional Applications for Variances	<input type="checkbox"/> Approved	<input type="checkbox"/> Not Approved
APPLICANT MUST COMPLETE THE FOLLOWING		
Property Owner: Address: 36 Point lane, Arcadia, IN 46034		
City: Telephone:		
		State: IN      ZIP Code: 46030
		Fax:      E-mail:
Project Address: 36 point lane		
City: arcaida		State: <i>IN</i> ZIP Code: 46034
Parcel: 03-02-36-00-00-005.000		Subdivision:
General Contractor/ Builder: Address: 2030 w morse		Telephone:
City: cicero		Fax:
State: IN		Cell Phone:
Variance Request:	ZIP Code: 46034	Email:
Size of barn to exceed 65% of interior home square footage		
Commitments/ Conditions Offered:		
Code Section Appealed:		

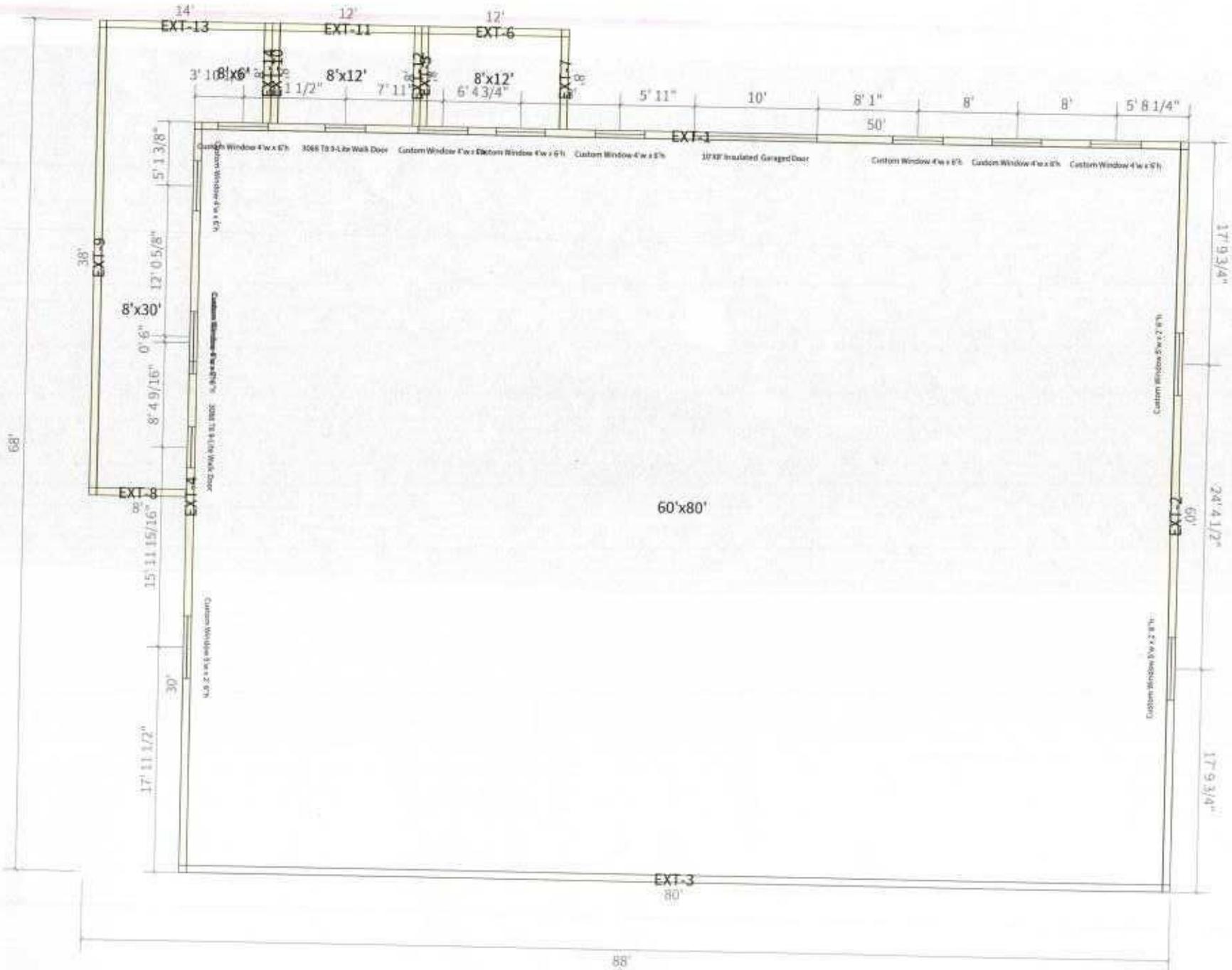
Iso 1

Job: Paul Miller 60X80X18 (Bender)  
Date: 4/15/2025  
Time: 10:57 AM



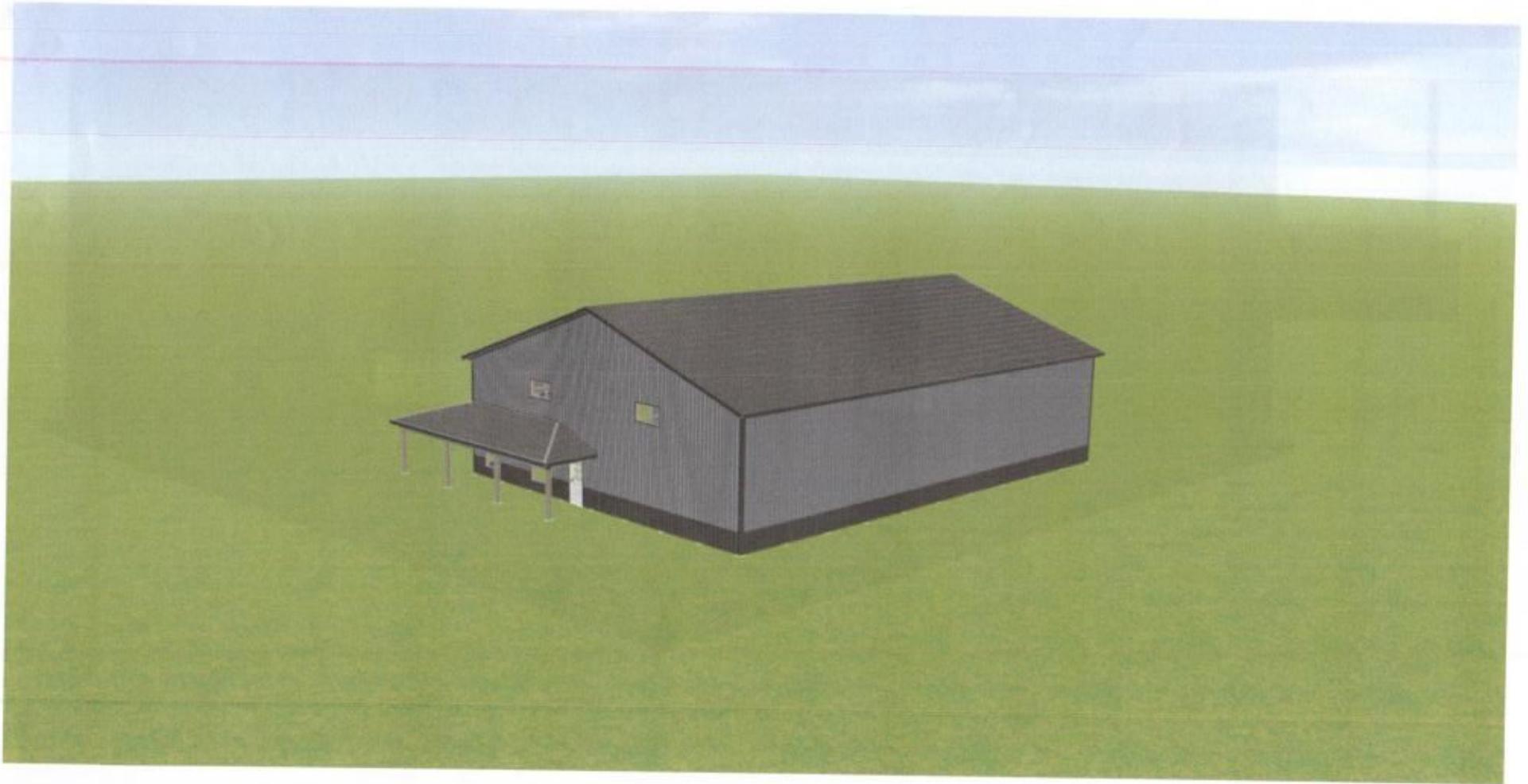
# Wall Layout

Job: Paul Miller 60X80X18 (Bender)  
Date: 4/15/2025  
Time: 10:57 AM



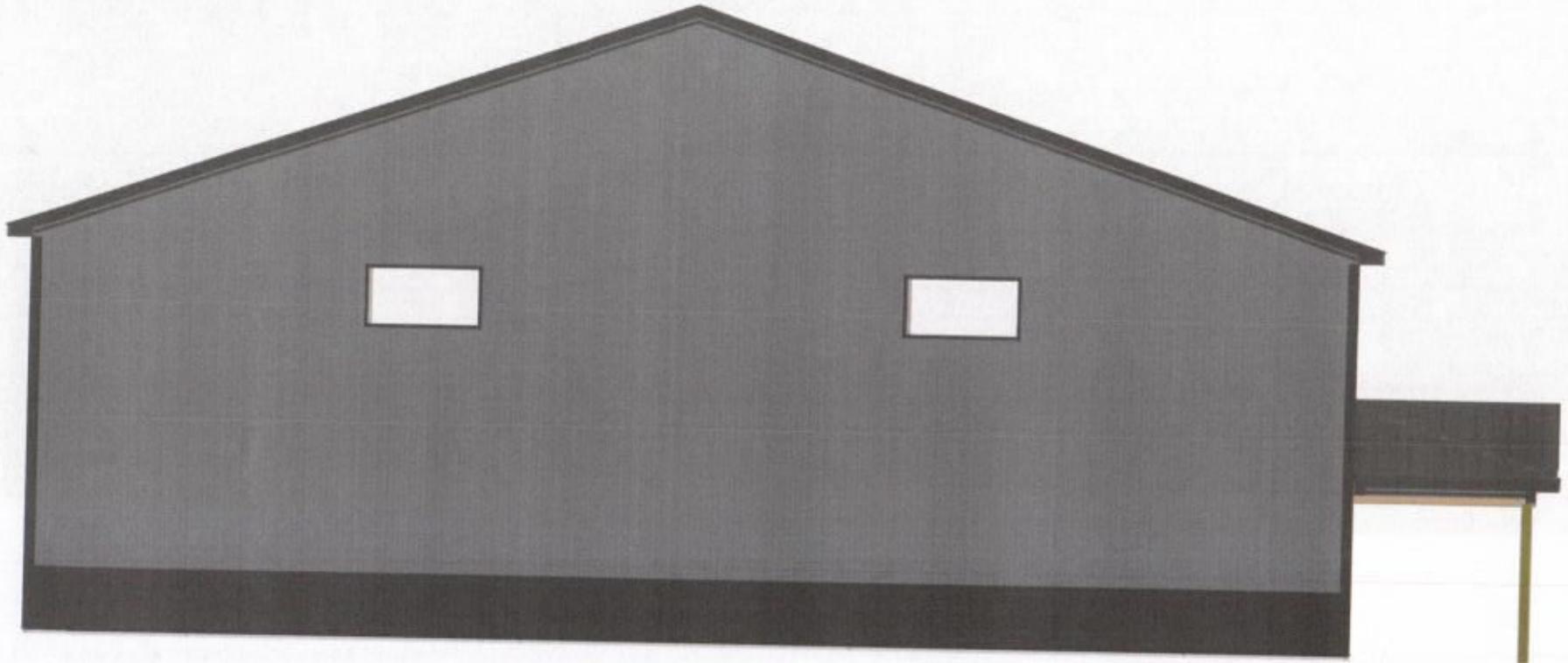
**Iso 2**

Job: Paul Miller 60X80X18 (Bender)  
Date: 4/15/2025  
Time: 10:57 AM



# Front Elevation

Job: Paul Miller 60X80X18 (Bender)  
Date: 4/15/2025  
Time: 10:57 AM



# Back Elevation

Job: Paul Miller 60X80X18 (Bender)  
Date: 4/15/2025  
Time: 10:57 AM



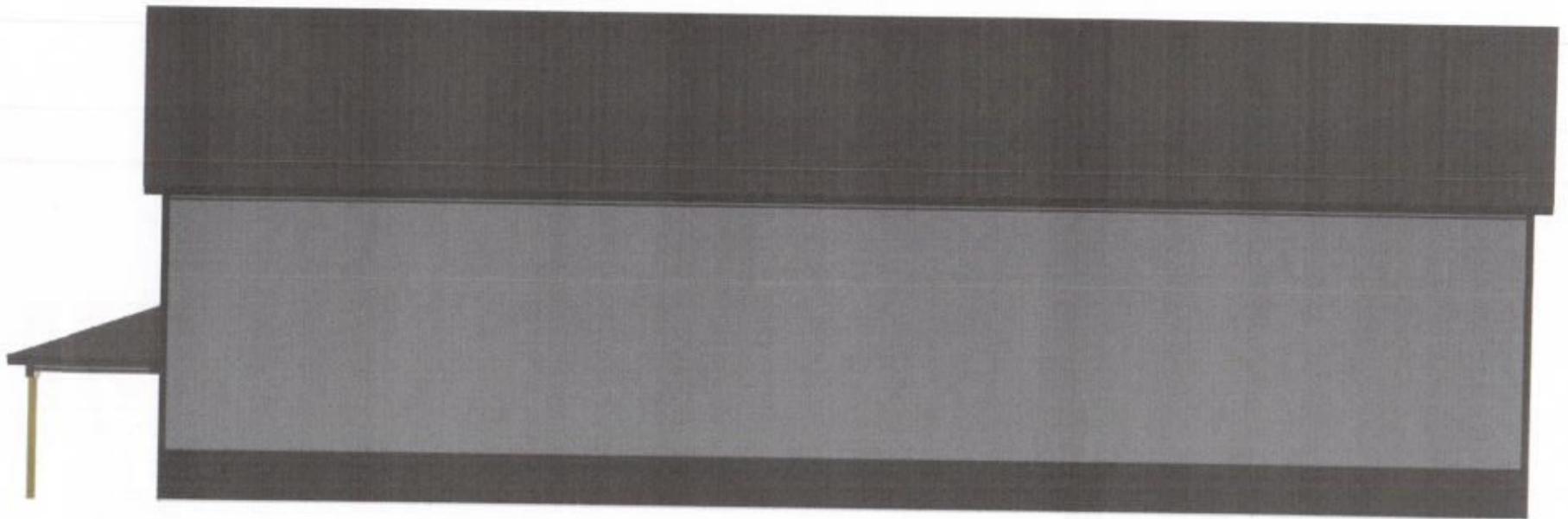
# Left Elevation

Job: Paul Miller 60X80X18 (Bender)  
Date: 4/15/2025  
Time: 10:57 AM



# Right Elevation

Job: Paul Miller 60X80X18 (Bender)  
Date: 4/15/2025  
Time: 10:57 AM



Google Maps

36 Point Ln



Imagery ©2025 Airbus, Maxar Technologies, Map data ©2025 100 ft

location of Pole Barn



BZA

Docket: BZA-0525-15,16,17-R1

Petitioner: Bender's Home

## **Cicero/Jackson Township Plan Director Staff Report**

**Docket No. BZA-0525-15-16-17-R1**

Staff: Frank Zawadzki

Applicant: Bender Homes for the Canfield family, 36 Point Lane Arcadia

Property Size: 5.60 Acres

Current Zoning: R1

**Location:** A Development Standards Variance request application has been submitted concerning Article 3.4 "R1" District Standards of the Cicero/Jackson Township Zoning Ordinance in order to: Increase the height of an accessory structure from twenty (20) feet to twenty-seven (27) feet. Whereas Article 3.4 states that the maximum height shall be twenty (20) feet in the "R1" district. Plus allow a twelve (12) foot side yard setback for an accessory structure. Whereas Article 3.4 states that side yard setbacks shall be forty (40) feet. And that an accessory structure may not exceed 65% of the Finished Floor Area of the Primary Structure Plus "R1" District Standards of the Cicero/Jackson Township Zoning Ordinance to: allow a twelve (12) foot side yard setback for an accessory structure. Whereas Article 3.4 states that side yard setbacks shall be forty (40) feet and allow an accessory structure to exceed 65% of the Finished Floor Area of the Primary Structure. Whereas Article 7.5 AS-02 states that an accessory structure may not exceed 65% of the Finished Floor Area of the Primary Structure.

**Background Summary:** Petitioner applied for a permit that cannot be approved due to the location, height and size selected for their proposal

**Preliminary Staff Recommendations:** Staff would not oppose approval.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Zoning Ordinance Considerations:** R1 standards limit the size, height and setbacks. This is a pretty big lot, the location selected adjoins the railroad tracks at lakeside. Secluded and invisible from adjoining properties.

**District Intent:** : The R1 district is for large homes on large lots.

**Current Property Information:**

Land Use: Single family residential

Site Features: Lake front and wooded in “The Point” subdivision.

Vehicle Access: Yes

**Planning Considerations:**

**The following general site considerations, planning concepts, and other facts should be considered in the Plan Commission decision making process:** This is as low impact to neighbors as you can get. Completely invisible to neighbors.

**Findings of Facts/Decision Criteria:** I don't see any conflict to values, safety of adjoiners or a conflict with the Comp Plan.



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TOWNSHIP  
PLAN COMMISSION**

**Findings of Fact/Decision Criteria:**

The Board of Zoning Appeals may approve or deny variances from the **development standards** of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 **The approval will not be injurious to the public health, safety, morals, and general welfare of the community.**

*Findings of Facts:*

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*This criterion **has / has not** been met.*

- 2 **The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.**

*Findings of Facts:*

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*This criterion **has / has not** been met.*

- 3 **The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property.** *Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.*

*Findings of Facts:*

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*This criterion **has / has not** been met.*



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: \_\_\_\_\_

Any Conditions Attached: \_\_\_\_\_

\_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_



# CICERO / JACKSON TOWNSHIP (BOARD OF ZONING AND APPEALS)

CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

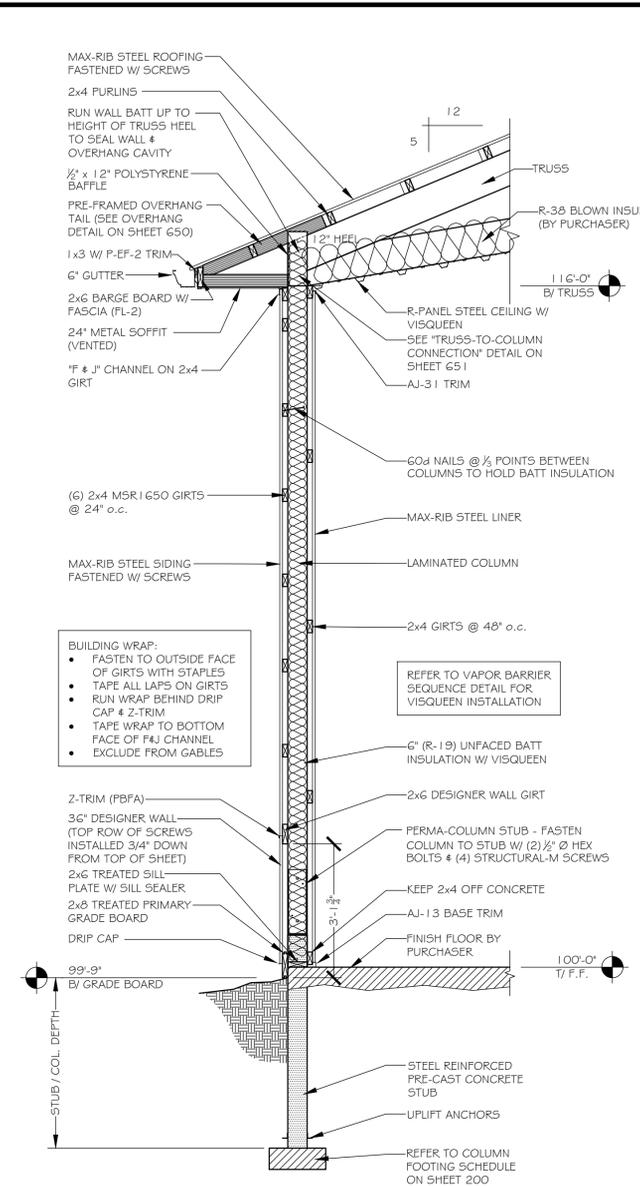
## VARIANCE APPLICATION

### OFFICE USE ONLY

<b>Variance Category</b>		<b>Docket #:</b> BZA-0625-21-AG
<input checked="" type="checkbox"/> Development Standards	<input type="checkbox"/> Special Exception	Date of Application: 05/20/2025
<input type="checkbox"/> Land Use	<input type="checkbox"/> Other	Date of Expiration:
<b>Variance Check List</b>		Variance Fee: \$320.00
<input type="checkbox"/> Adjoinder List	<input type="checkbox"/> Legal Notice Copy	Date of Hearing: 06/19/2025
<input type="checkbox"/> Certified Mail Receipts	<input type="checkbox"/> Property Sign	Date of Decision:
<input type="checkbox"/> Additional Applications for Variances	<input type="checkbox"/> Approved	<input type="checkbox"/> Not Approved

### APPLICANT MUST COMPLETE THE FOLLOWING

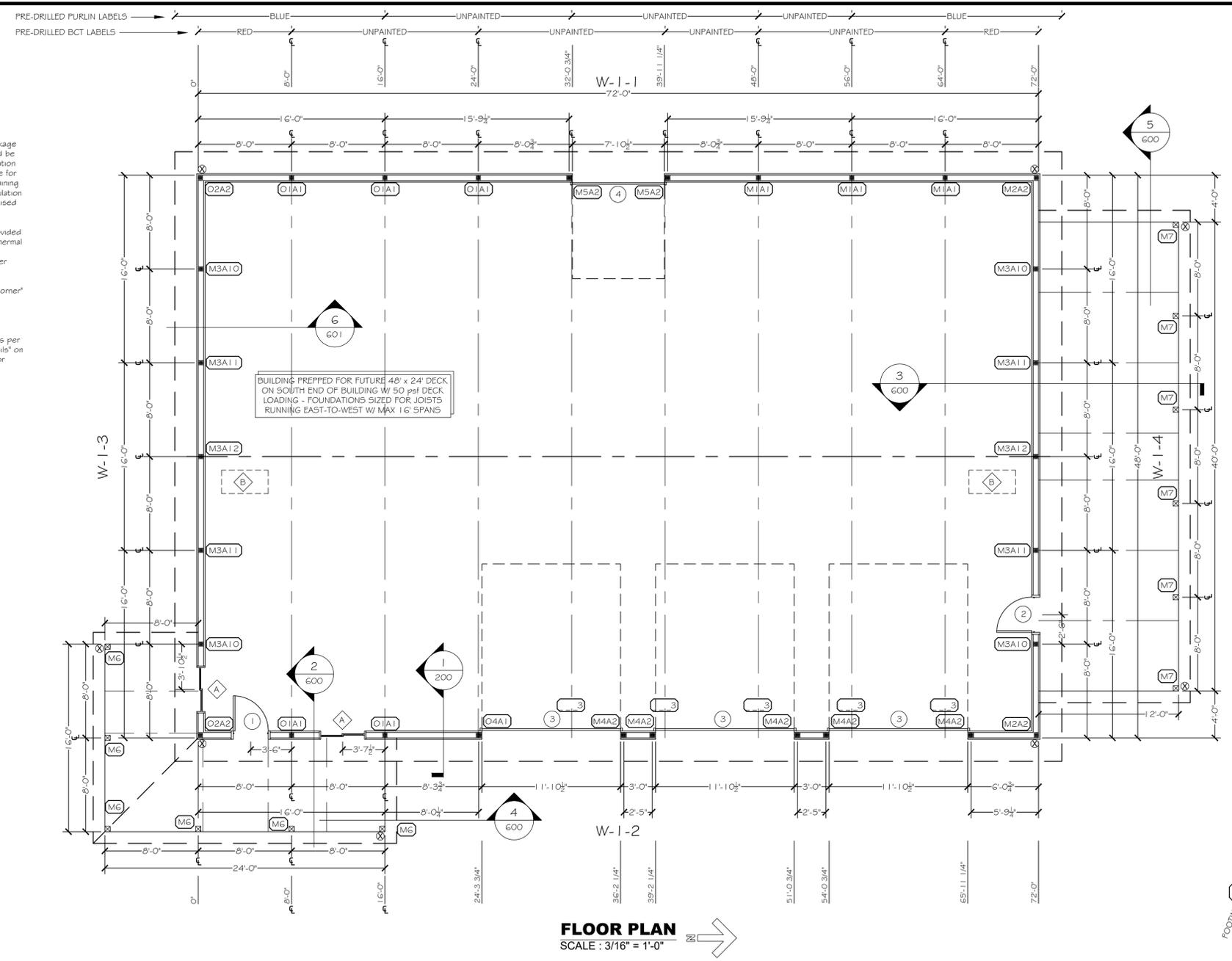
Property Owner: Jason Bezy		
Property Address: 22400 Cammack Rd		
City: Noblesville	State: IN	ZIP Code: 46062
Telephone: [REDACTED]	E-mail: [REDACTED]	
Fax:		
Project Address: 22400 Cammack Rd	State: IN	ZIP Code: 46062
City: Noblesville	Subdivision: N/A	
Parcel: 03-06-09-00-00-005.003	Telephone: [REDACTED]	
General Contractor: FBI Buildings	Fax:	
Address: [REDACTED]	Cell Phone: [REDACTED]	
City: Remington	State: IN	ZIP Code: 47977
Email: [REDACTED]		
Variance Request: To build a barn in rear of property		
Commitments/ Conditions Offered:		
Code Section Appealed:		



Thermal:  
To have a great-performing thermal package materials must be installed correctly and be properly maintained throughout the duration of the project. Purchaser is responsible for holding all trades accountable for maintaining / repairing any penetrations through insulation or barrier(s) to their original uncompromised state.

The following sequence / details are provided to aid in the proper installation of the thermal package:

- See "Building Wrap" notes for proper installation.
- Install visqueen and insulation per "Thermal Installation Sequence @ Corner" detail on sheet 650.
- Install ceiling visqueen and liner per "Vapor Barrier Sequence Detail" on sheet 650.
- Spray foam around doors & windows per "Walkdoor & Window Frameout Details" on sheet 650 prior to installing interior trims.



**FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**Wood Specs:**

- Design and construction of all structural wood members shall be in accordance with the current or referenced issue of AF&PA-NDS with supplement.
- Minimum grades of all wood members shall be as follows unless noted otherwise:  
Girts - (2x4) MSR1 G50 SPF - (2x6) #2 SPF or better  
Purlins, studs & bracing - (2x4) #2 SPF or better - (2x6) #2 SPF or better  
Columns - (2x6) #1 SYP treated & non-treated  
Columns - (2x8) #1 SYP treated & MSR2400 SYP non-treated  
Truss webs, chords, headers, joist, rafters & all other framing material  
#1 or #2 SYP - (2x4 & 2x6)  
MSR 2400 SYP - (2x8, 2x10 & 2x12)  
2.OE F<sub>u</sub> = 3,100psi - (LVL)
- All members in contact with soil or concrete shall be preservative-treated to min 0.8 #/c.f. retention CCA for columns/posts and UC4 Ground Contact for all others.
- Plywood and OSB, when shown on construction documents shall be APA rated.
- Deflections of wood members shall be limited to the model building code-specified minimums.

**Fastener Specs:**

- Nails shall be called out on drawings by penny weight. The following fasteners & specs have been used in design & shall be used in construction:  
- 10d x 1 1/2" - .140" x 1 1/2"  
- 10d - .120" x 2 3/4" threaded pneumatic  
- 16d - .162" x 3 1/2" common  
- 16d R.S. - .148" x 3 1/2" threaded hardened-steel
- Substitution of fasteners shall not be permitted without the written consent of the design engineer except as follows:  
- 10d nails may be used to replace 16d or 16d R.S. nails where specified at a 2:1 ratio.  
- 16d or 16d R.S. nails may be used to replace 10d nails where specified at a 2:3 ratio.
- Unless noted otherwise all nails shall be evenly distributed over the connection area, placed in an orderly straight pattern, and shall be driven into the center of the narrow face of 2x members when applicable. Edge distances, end distances and spacing for nails shall be sufficient to prevent splitting of the wood. Nails that do not make a solid connection shall be compensated for by adding extra nails that meet the required specs.
- Fasteners in pressure treated lumber must be hot-dipped galvanized, stainless steel or tested for that purpose.
- All light-gauge metal connectors shall be fastened per manufacturer's specs.
- Fasteners called out on the drawings shall be as follows:  
- STRUCTURAL-VS - 1/2" x 1 1/2" GRK R55 or equal  
- STRUCTURAL-S - 3/4" x 2 1/2" GRK R55 or equal  
- STRUCTURAL-M - 3/4" x 4" GRK R55 or equal  
- STRUCTURAL-L - 3/4" x 5 1/2" CONNEXTITE structural wood screw or equal  
- PURLIN SCREW - 3/8" x 6" FASTENMASTER HEADLOK or equal  
- I-BEAM SCREW - 1/4"-20 x 2 3/4" IMPAX WOOD TO METAL SELF-DRILLER or equal  
- CONCRETE SCREW - 1/4" x 2 3/4" TAPCON or equal

**COLUMN FOOTING SCHEDULE**

LABEL	PAD SIZE	TYPE	MISCELLANEOUS NOTES
M	14" x 4"	PRE-CAST	N/A
O	20" x 6"	PRE-CAST	N/A

**COLUMN STUB SCHEDULE**

FULL COLUMNS OR STUBS							
LABEL	STUB / COL. SIZE	LENGTH	UPLIFT ANCHORS	UPLIFT ANCHOR FASTENERS	COMMENTS	BRACKET TYPE	STUB / COL. DEPTH
1	3-PLY 2x6	5'-0"	(2) 2" x 2" x 12"	(1) 1/2" CARRIAGE BOLT	CONCRETE STUB	REG.	4'-0"
2	3-PLY 2x6	5'-0"	(2) 2" x 2" x 12"	(1) 1/2" CARRIAGE BOLT	CONCRETE STUB	CORNER	4'-0"
3	3-PLY 2x6	5'-0"	(2) 2" x 2" x 12"	(1) 1/2" CARRIAGE BOLT	CONCRETE STUB	REG.	4'-0"
4	4-PLY 2x6	5'-0"	(2) 3" x 3" x 12"	(1) 1/2" GR.8 HEX BOLT	CONCRETE STUB	OFFSET	4'-0"
5	4-PLY 2x6	5'-0"	(2) 2" x 2" x 12"	(1) 1/2" CARRIAGE BOLT	CONCRETE STUB	OFFSET	4'-0"
6	6x6	16'-0"	(2) 12" TR. BLOCKS	(10) 10d NAILS PER BLOCK	FULL TREATED COLUMN	N/A	4'-0"
7	6x6	20'-0"	(2) 12" TR. BLOCKS	(10) 10d NAILS PER BLOCK	FULL TREATED COLUMN	N/A	4'-0"

**COLUMN MIDDLE SCHEDULE**

LABEL	COLUMN SIZE	COMMENTS
A	3-PLY 2x6	NON-TREATED MIDDLE

**COLUMN TOP SCHEDULE**

LABEL	TOP SIZE	COMMENTS
1	3-PLY 2x6	SIDE TOP
2	3-PLY 2x6	DOOR / CORNER TOP
3	3-PLY 2x6	OHD HEADER TOP
10	3-PLY 2x6	END TOP
11	3-PLY 2x6	END TOP
12	3-PLY 2x6	END TOP

**PRE-CUT GIRT SCHEDULE**

LABEL	LENGTH (-/1/16")	COLOR
1	16'-0"	RED
2	15'-9 1/4"	GREEN
10	8'-0 1/4"	YELLOW
11	5'-9 1/4"	ORANGE
12	2'-5"	PURPLE

**OPENINGS SCHEDULE**

LABEL	TYPE	MFR/MODEL	SIZE	ROUGHOUT	ACCESSORIES	DETAIL LOCATION / COMMENTS
1	WALKDOOR	AJ #5100 SERIES	3066	40 5/16" x 81"	9-LITE, KNOB LOCKSET	FBI TO FRAME OUT & INSTALL, SEE FRAME OUT DETAIL ON SHEET 650
2	WALKDOOR	AJ #5100 SERIES	3066	40 5/16" x 81"	SOLID PANEL, KNOB LOCKSET	FBI TO FRAME OUT & INSTALL, SEE FRAME OUT DETAIL ON SHEET 650
3	OVERHEAD	BY PURCHASER	12' x 14'	11'-10 1/2" x 13'-11 1/2"		FBI TO FRAME OUT, PURCHASER TO SUPPLY & INSTALL, SEE DOOR #3 DETAIL ON SHEET 601
4	OVERHEAD	BY PURCHASER	8' x 8'	7'-10 1/2" x 7'-11 1/2"		FBI TO FRAME OUT, PURCHASER TO SUPPLY & INSTALL, SEE DOOR #4 DETAIL ON SHEET 601
A	HORIZONTAL SLIDING WINDOW	SIMONTON	4030	48" x 36"	SCREENS	ALIGN W/ TOP OF 3066 WALKDOOR
B	ATTIC ACCESS	FBI	24" x 44"	24 1/8" x 44 1/8"		VERIFY LOCATION W/ PURCHASER, SEE DETAIL ON SHEET 300

**MISCELLANEOUS NOTES**

DIAGONAL: (48'-0" x 72'-0") = 86'-6 3/8"

⊗ = 4" x 3" DOWNSPOUT LOCATION

**MISCELLANEOUS PRE-CUT SCHEDULE**

LENGTH	COLOR	COMMENTS
+	RED	+
+	GREEN	+
+	YELLOW	+
+	ORANGE	+

NO.	DATE	BY	DESCRIPTION
1	2025-04-05	Samuel Z.	Approval Set for C.O. D1042823

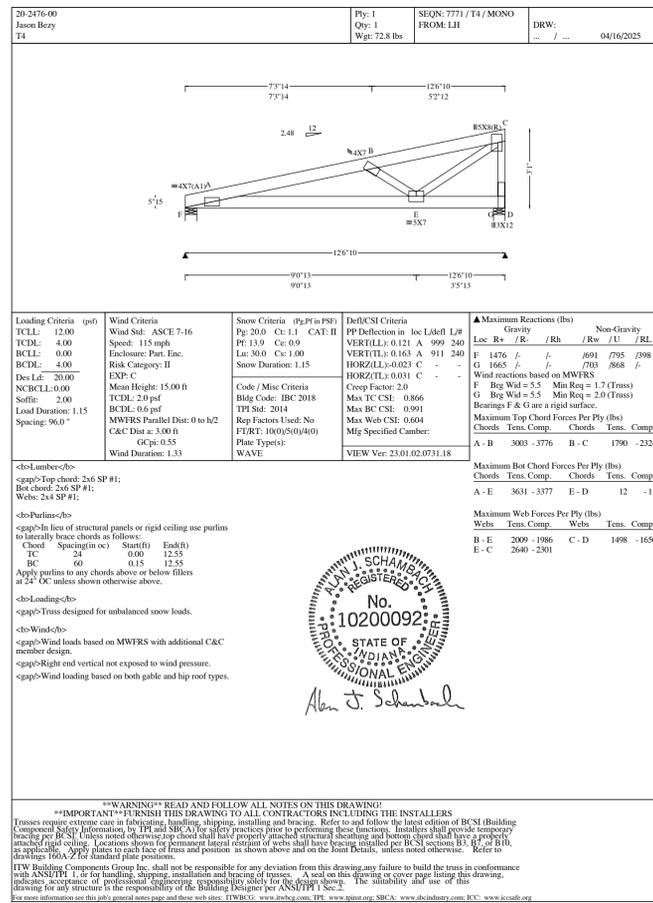
**Jason Bezy**  
22400 Cammack Road  
Noblesville, IN 46062

SHEET TITLE:  
FLOOR PLAN

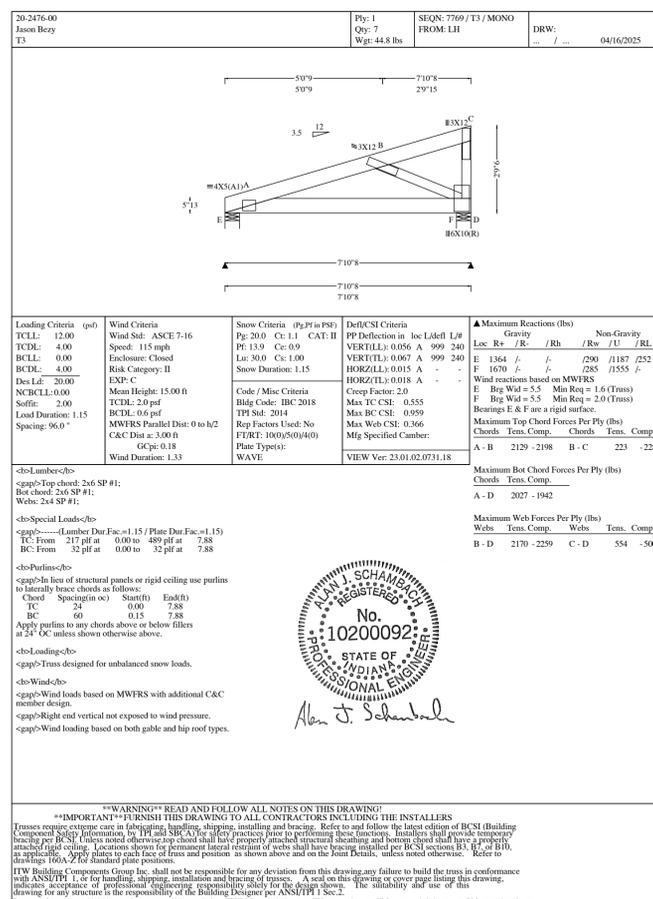
**FBI Buildings**  
fbi-buildings.com • (800) 552-2981

DRAWN BY: Samuel Z.  
MTO BY: XX  
ENG. BY: Alan S.  
PSC: Daniel L.  
SHEET: **200**  
FBI PROJECT #: 20-2416-00

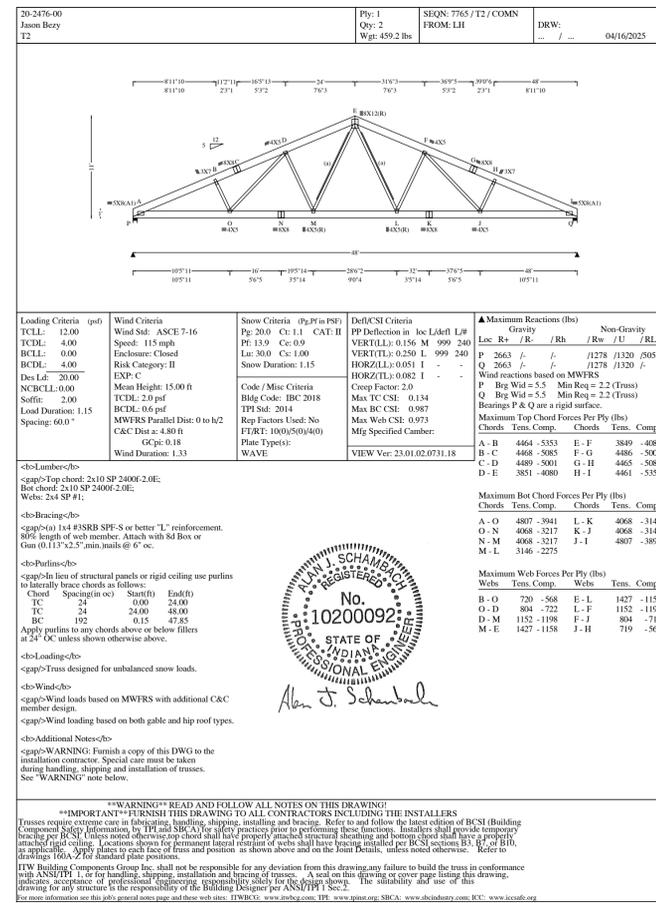




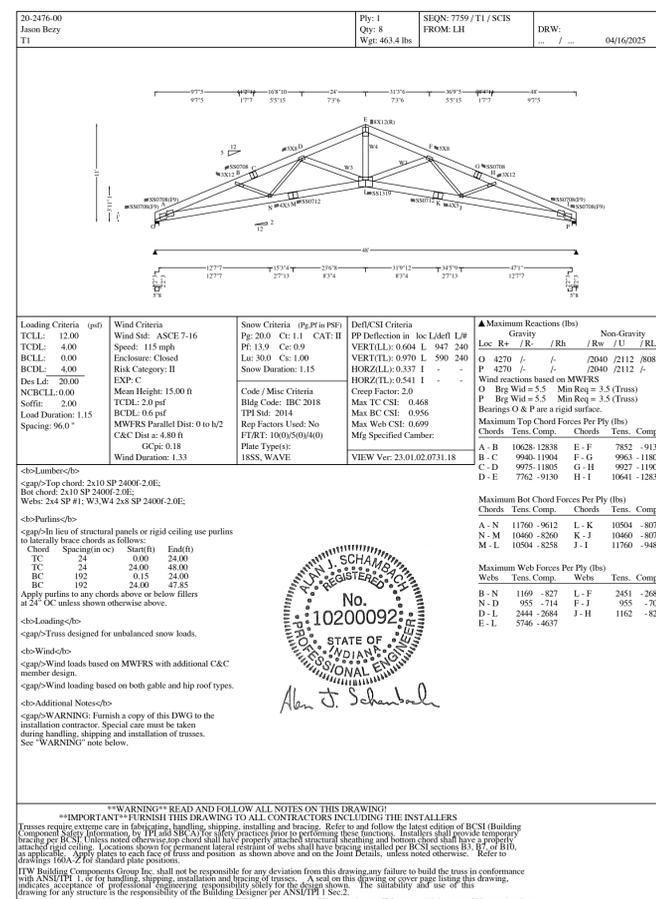
**TRUSS DRAWING - T4**  
SCALE: N.T.S.



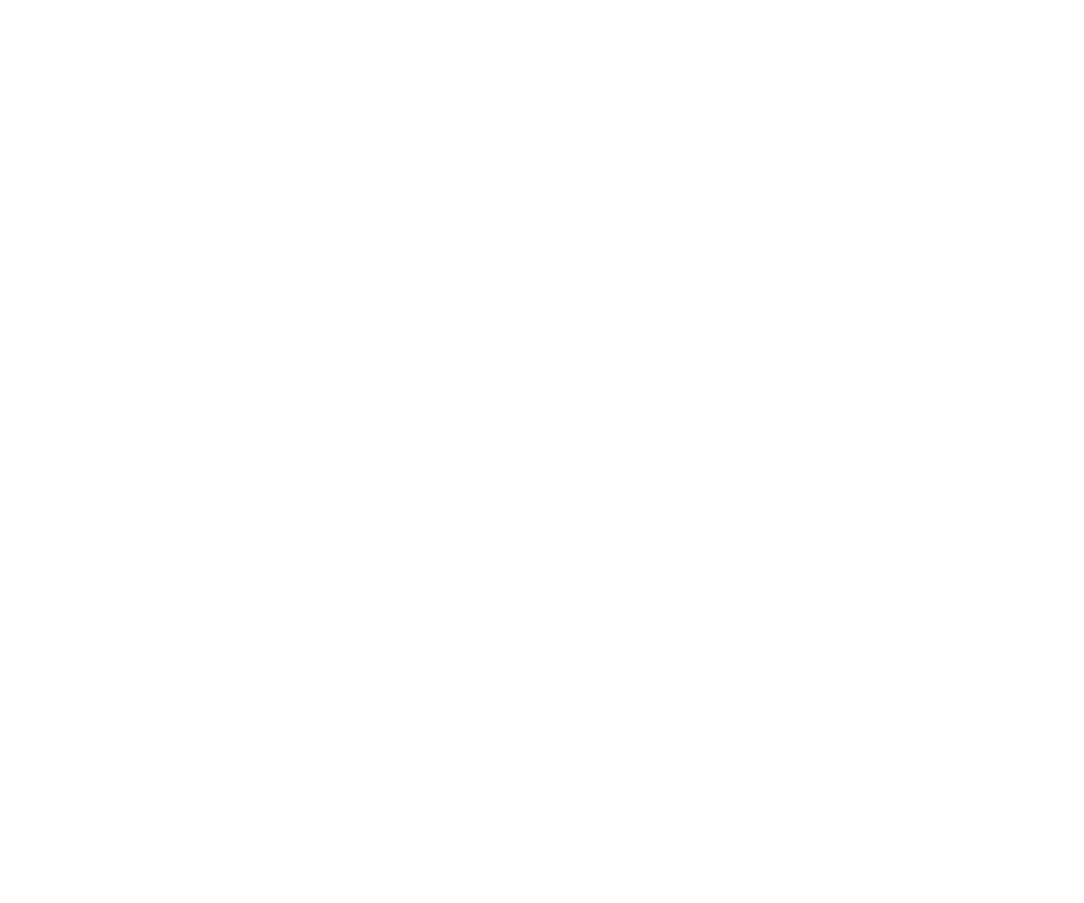
**TRUSS DRAWING - T5**  
SCALE: N.T.S.



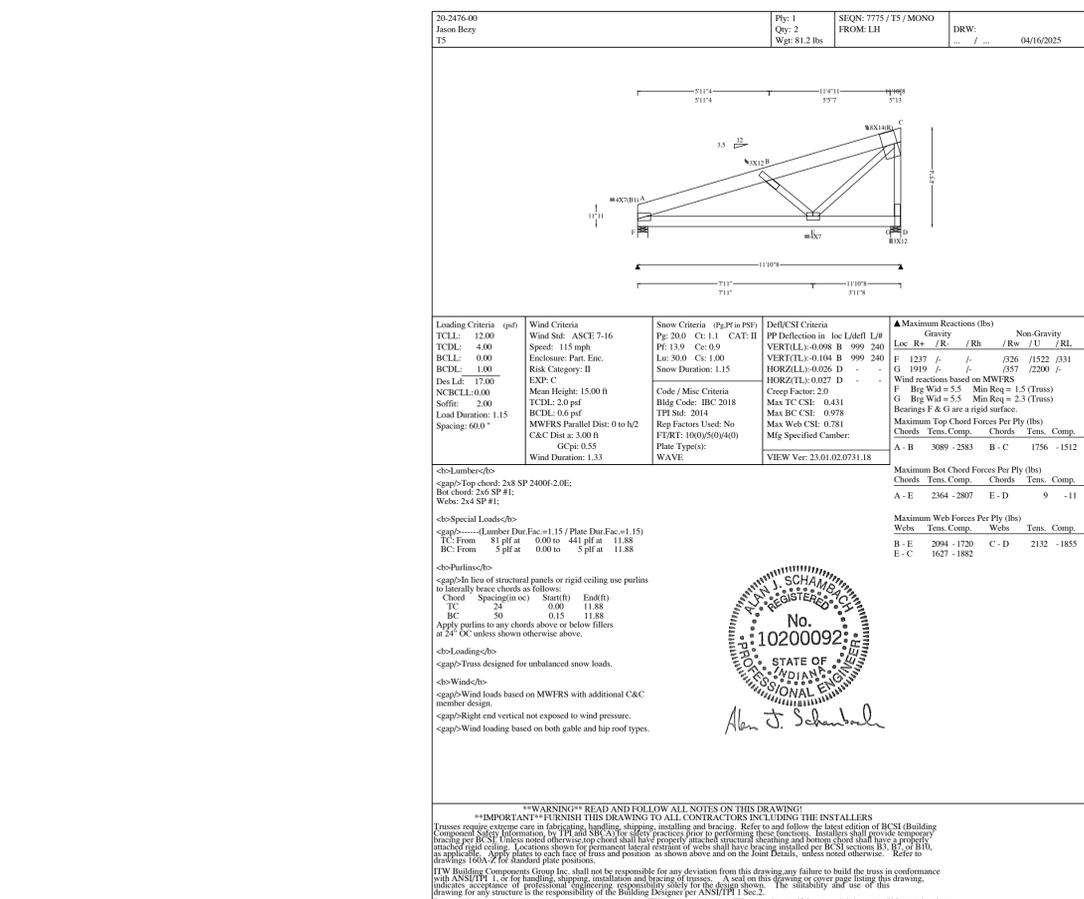
**TRUSS DRAWING - T2**  
SCALE: N.T.S.



**TRUSS DRAWING - T3**  
SCALE: N.T.S.



**TRUSS DRAWING - T1**  
SCALE: N.T.S.



**TRUSS DRAWING - T4**  
SCALE: N.T.S.

NO.	DATE	BY	DESCRIPTION
1	2025-05-05	Samuel Z.	Approval Seal, see C.O. D1042823

SEAL

Jason Bezy  
22400 Carmack Road  
Noblesville, IN 46062

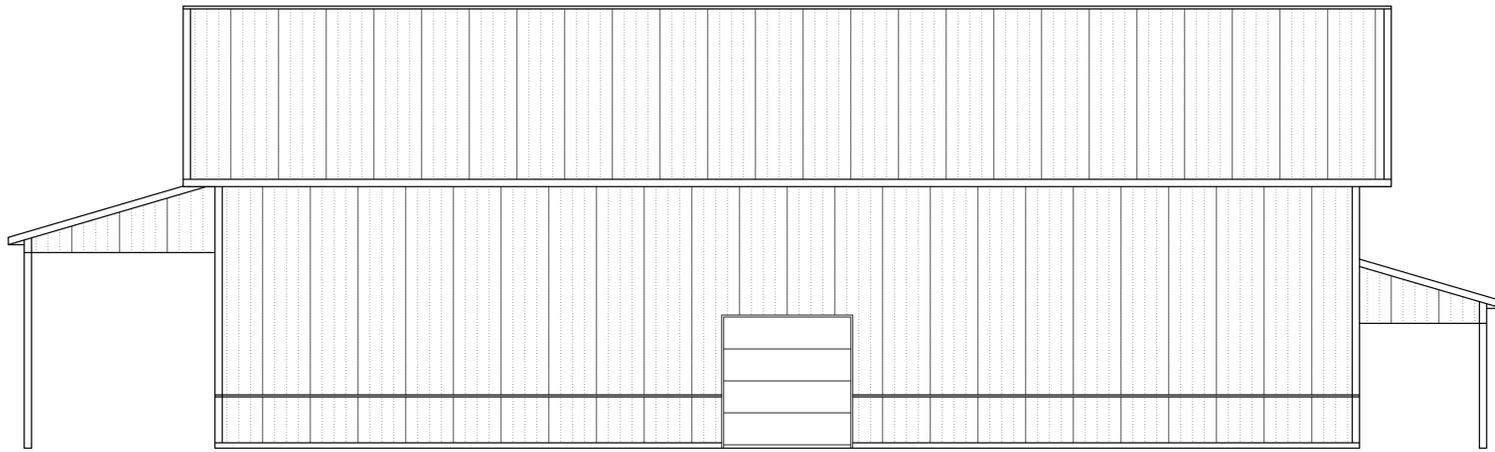
SHEET TITLE:  
TRUSS DETAILS

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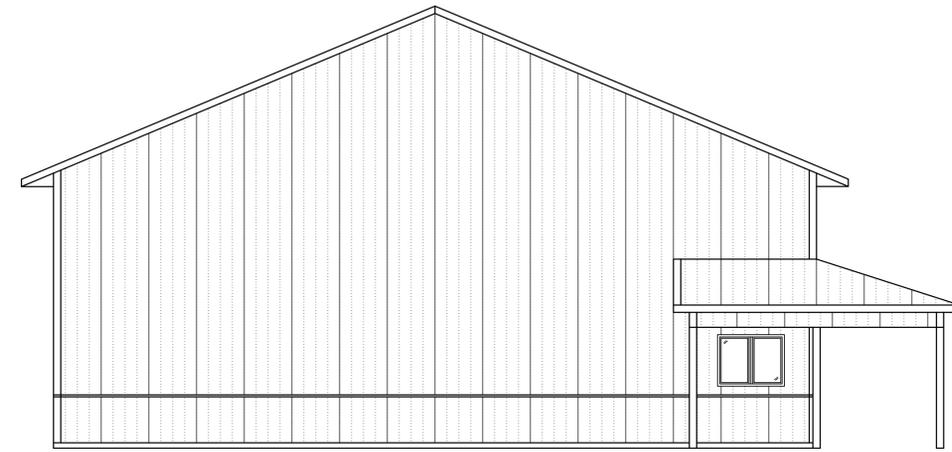
DRAWN BY: Samuel Z.  
MTO BY: XX  
ENG. BY: Alan S.  
PSC: Daniel L.

SHEET: 350

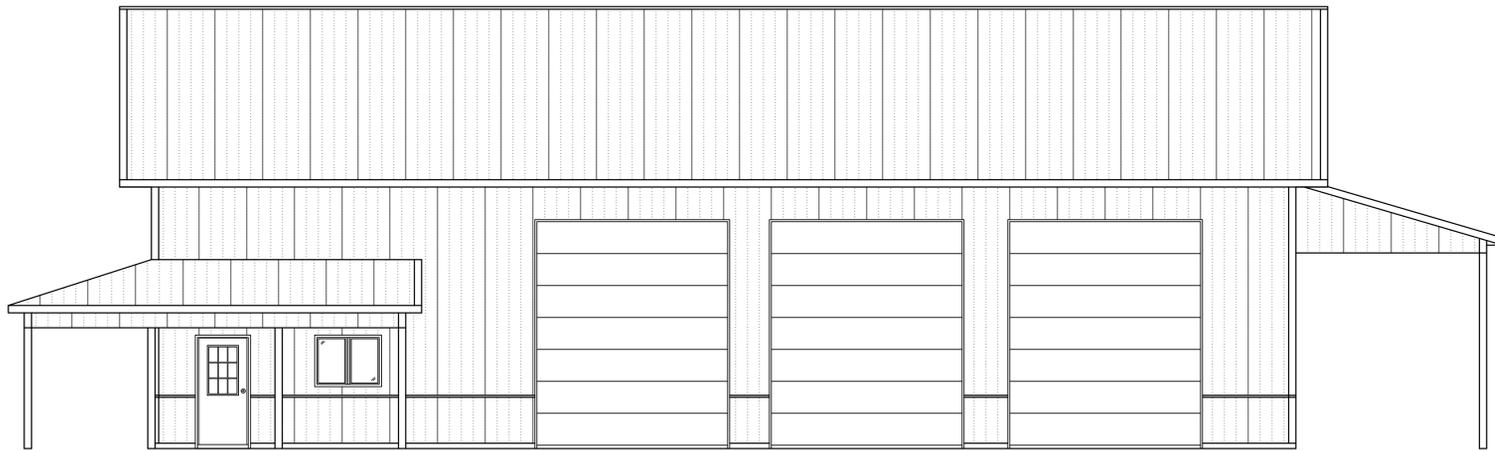
FBI PROJECT #: 20-2476-00



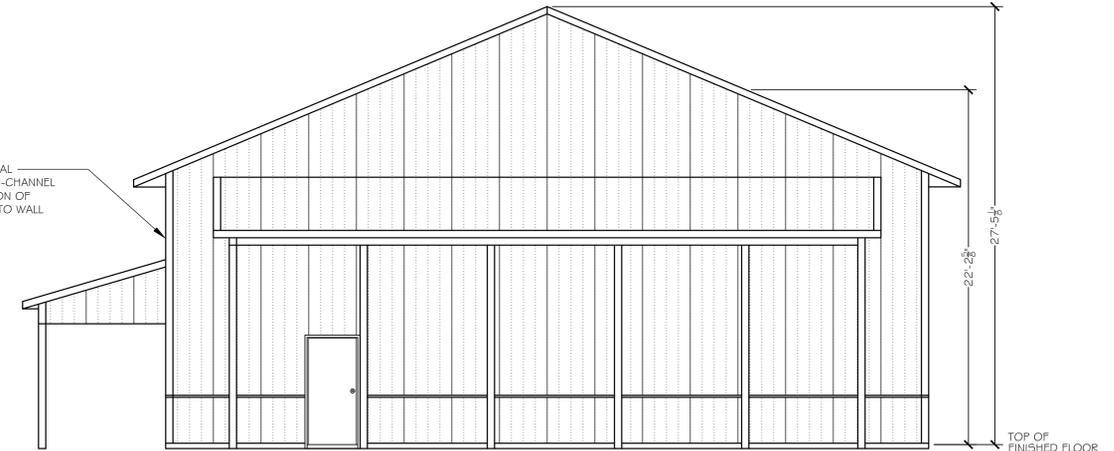
**SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"



**END ELEVATION**  
SCALE: 3/16" = 1'-0"



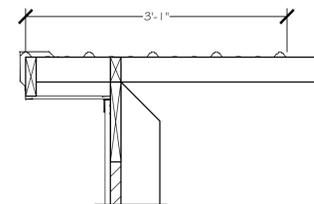
**SIDE ELEVATION**  
SCALE: 3/16" = 1'-0"



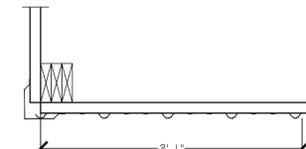
**END ELEVATION**  
SCALE: 3/16" = 1'-0"

INSTALL VERTICAL  
DOUBLE-BENT J-CHANNEL  
AT INTERSECTION OF  
PORCH GABLE TO WALL

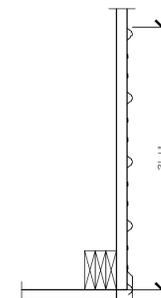
ROOF MEAN HEIGHT  
ROOF PEAK HEIGHT  
TOP OF FINISHED FLOOR



**ROOF STARTER PANEL**  
SCALE: 1" = 1'-0"



**SIDEWALL STARTER PANEL**  
SCALE: 1" = 1'-0"



**ENDWALL STARTER PANEL**  
SCALE: 1" = 1'-0"

FINISH GRADE ELEVATION AT BUILDING PERIMETER  
TO BE BELOW STEEL SIDING DRIP CAP AND ABOVE  
THE BOTTOM OF THE PRIMARY GRADE BOARD.

NO.	DATE	BY	DESCRIPTION
1	2025-05-05	Samuel Z.	Approval Set Inc. C.O. DL042823

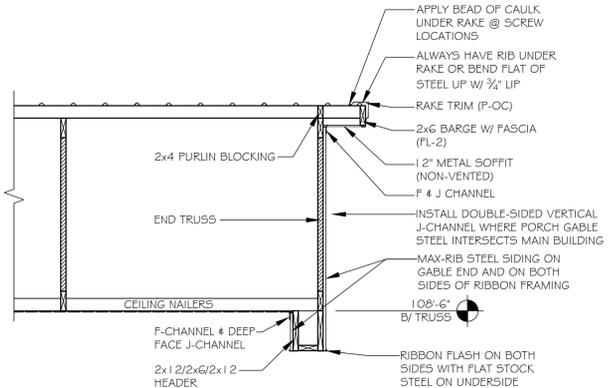
SEAL

**Jason Bezy**  
22400 Cammack Road  
Noblesville, IN 46062

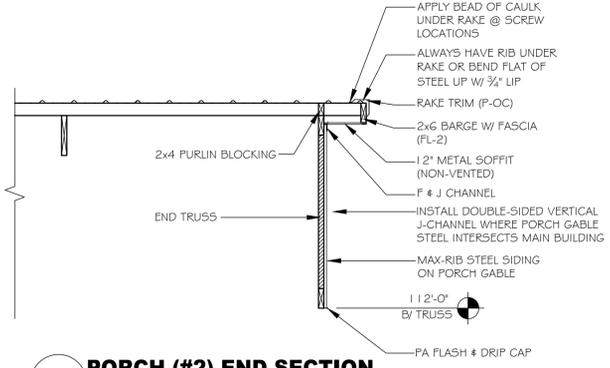
SHEET TITLE:  
**BUILDING ELEVATIONS**

**FBI Buildings**  
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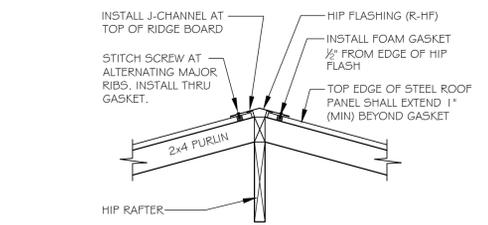
DRAWN BY:	Samuel Z.
MTO BY:	XX
ENG. BY:	Alan S.
PSC:	Daniel L.
SHEET:	<b>400</b>
FBI PROJECT #:	20-2416-00



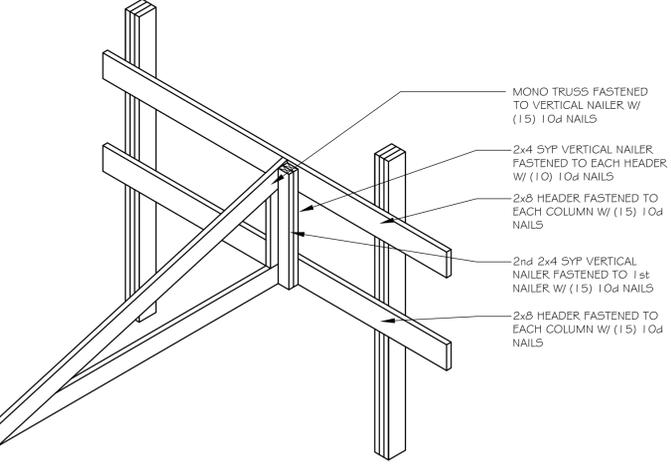
**4 PORCH END SECTION**  
SCALE: 3/4" = 1'-0"



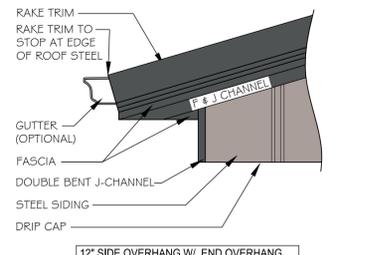
**5 PORCH (#2) END SECTION**  
SCALE: 3/4" = 1'-0"



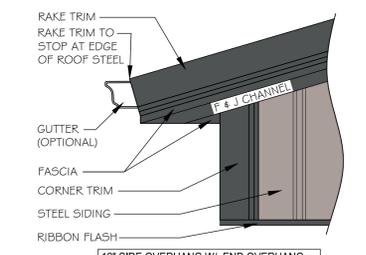
**HIP FLASHING DETAIL @ HIP RAFTER**  
SCALE: 1" = 1'-0"



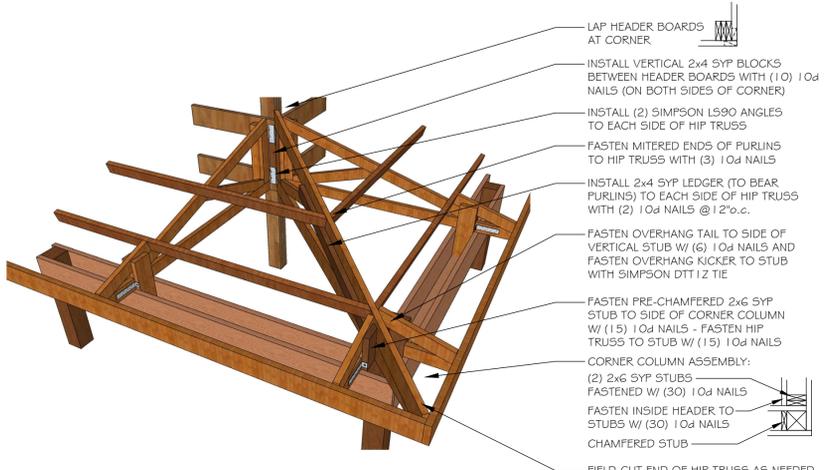
**HIGHSIDE PORCH TRUSS CONNECTION DETAIL**  
SCALE: 3/4" = 1'-0"



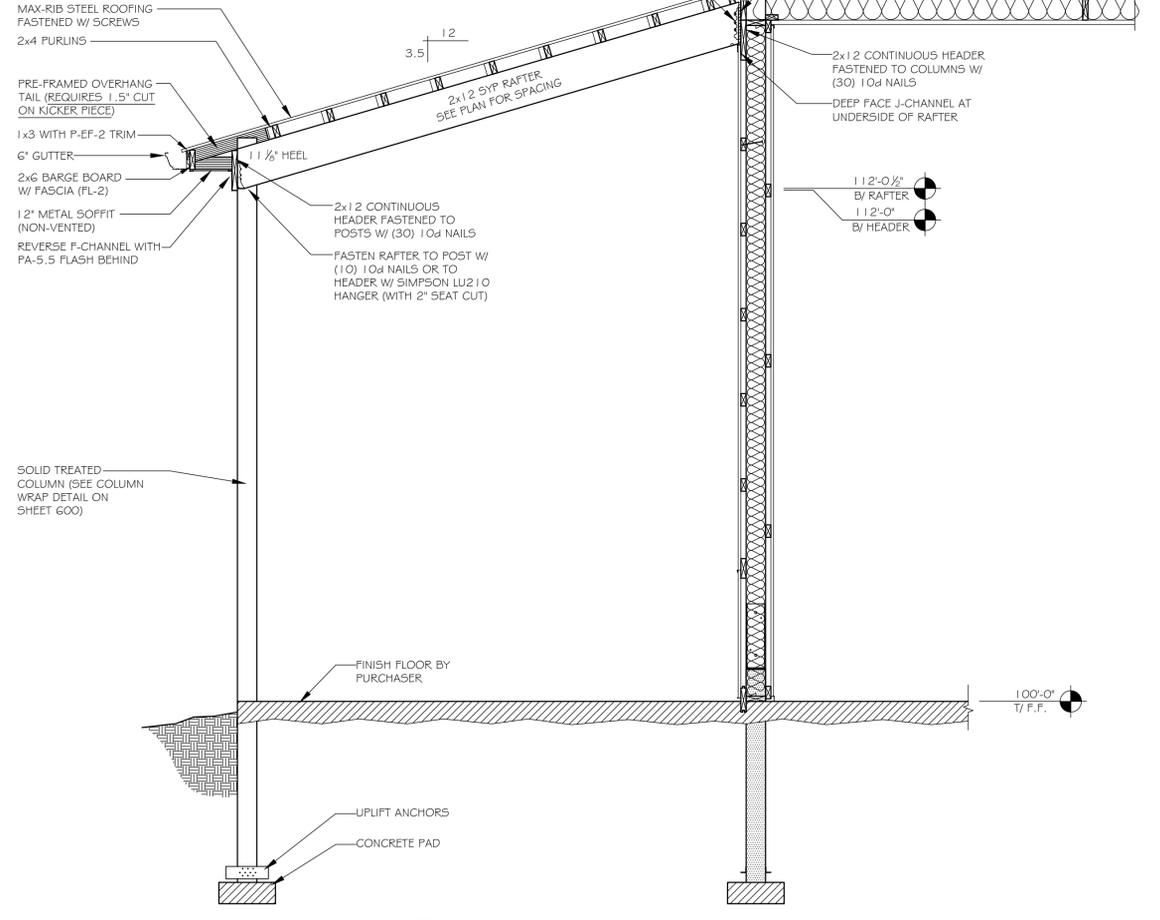
**PORCH (#2) RAKE FINISH DETAIL**  
SCALE: 1" = 1'-0"



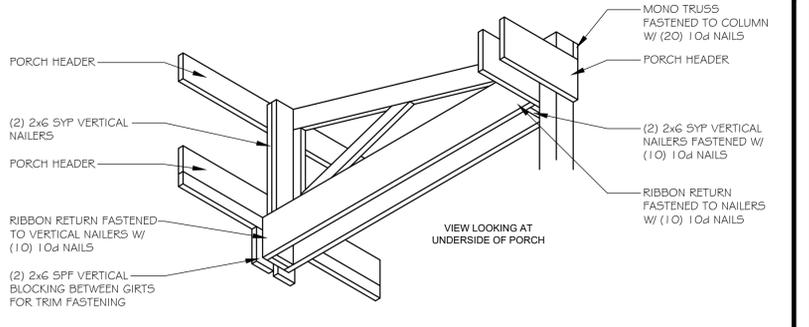
**PORCH RAKE FINISH DETAIL**  
SCALE: 1" = 1'-0"



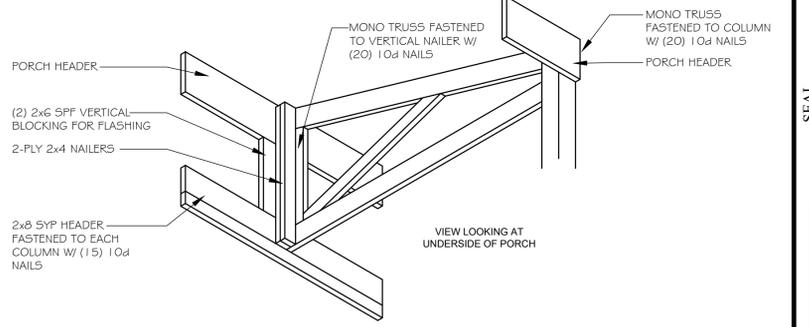
**HIP FRAMING DETAIL**  
SCALE: 1" = 1'-0"



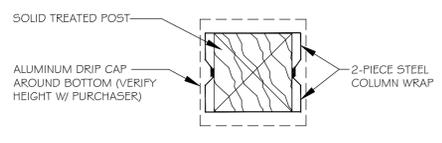
**3 PORCH (#2) SECTION**  
SCALE: 3/4" = 1'-0"



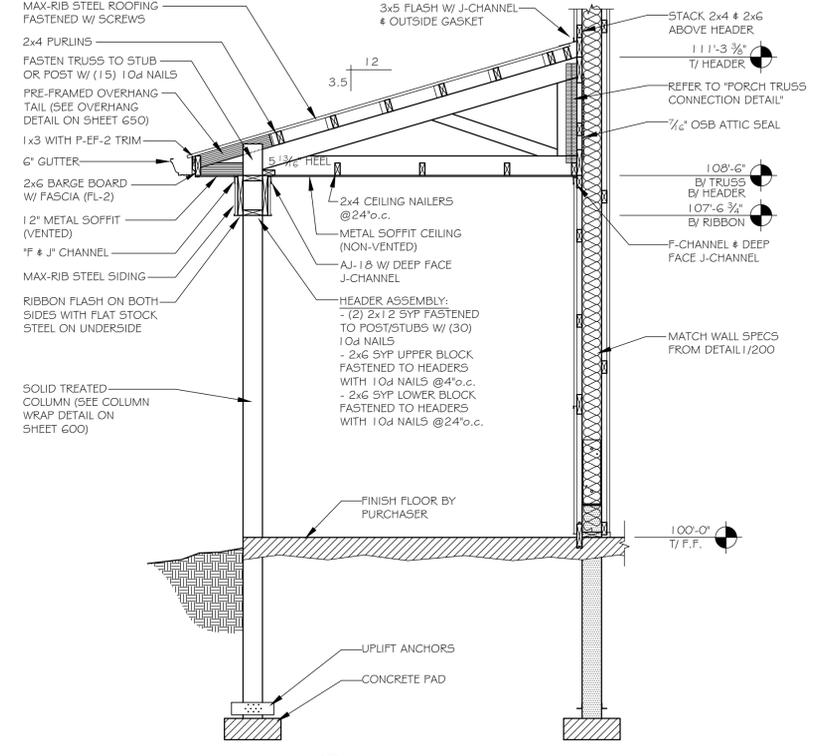
**PORCH RIBBON RETURN DETAIL**  
SCALE: 3/4" = 1'-0"



**PORCH (#2) RIBBON RETURN DETAIL**  
SCALE: 3/4" = 1'-0"



**TREATED 6x6 POST W/ STEEL WRAP**  
SCALE: 2" = 1'-0"



**2 PORCH SECTION**  
SCALE: 3/4" = 1'-0"

NO.	DATE	BY	DESCRIPTION
1	2025-05-05	Samuel Z.	Approval Set Inc. C.O. D1042823

**Jason Bezy**  
22400 Cammack Road  
Noblesville, IN 46062

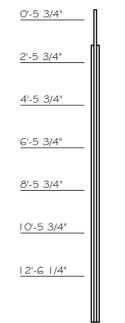
SHEET TITLE:  
WALL SECTION DETAILS

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DRAWN BY: Samuel Z.  
MTO BY: Alan S.  
ENG. BY: Alan S.  
PSC: Daniel L.  
SHEET: **600**  
FBI PROJECT #: 20-2416-00

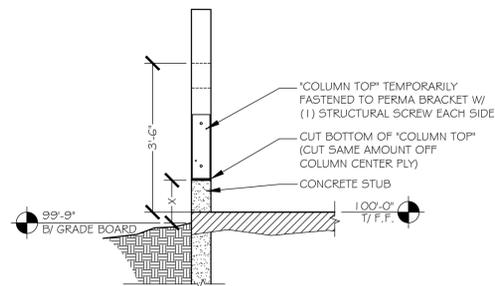




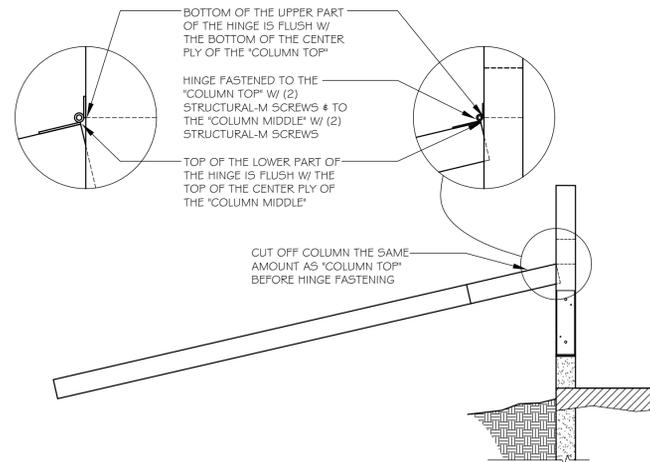


GIRTS SHALL BE MARKED AFTER "COLUMN MIDDLE" IS CUT - MARKS ARE TO BOTTOM OF GIRTS

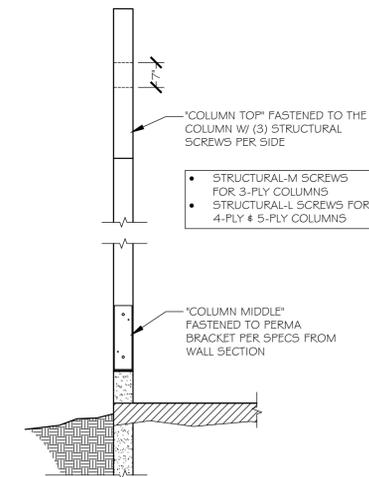
- PERMA-COLUMN NOTES:
1. STUB MUST BE SET TO +/- 6" VERTICAL TOLERANCE.
  2. MTO TO SEND OUTSIDE PLYS OF COLUMN-TOP 6" LONGER THAN STANDARD PC LENGTH TO BE FIELD TRIMMED AS NECESSARY.
  3. MTO TO SEND CENTER PLY OF COLUMN-MIDDLE 6" LONGER THAN STANDARD PC LENGTH TO BE FIELD TRIMMED AS NECESSARY.
  4. BOTTOM OF COLUMN-MIDDLE WILL NOT BE CUT.
  5. CUT-OFF AMOUNT = X" - 6"
  6. GIRT MARKS MEASURED FROM TOP OF CENTER PLY OF COLUMN MIDDLE AFTER CUTTING.



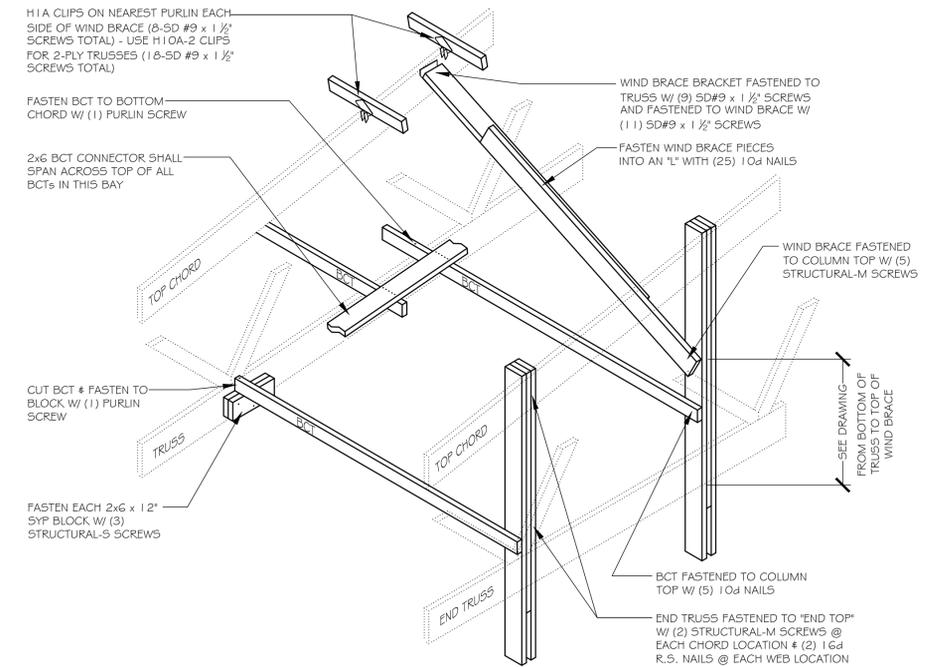
**STUB-TO-TOP CONNECTION DETAIL**  
SCALE: 1/2" = 1'-0"



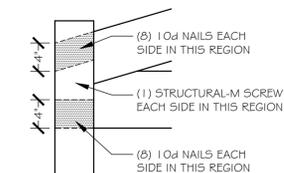
**HINGE CONNECTION DETAILS**  
SCALE: 1/2" = 1'-0"



**SPLICE CONNECTION DETAILS**  
SCALE: 1/2" = 1'-0"



**END TOP/WIND BRACE CONNECTION (SCISSOR TRUSS)**  
SCALE: 1/2" = 1'-0"



**TRUSS-TO-COLUMN CONNECTION**  
SCALE: 1" = 1'-0"

NO.	DATE	BY	DESCRIPTION
1	2025-05-05	Samuel Z.	Approval Set for C.O. D1042823

SEAL

**Jason Bezy**  
22400 Cammack Road  
Noblesville, IN 46062

SHEET TITLE:  
C-Lyft Details

**FBI Buildings**  
fbibuildings.com • (800) 552-2981

DRAWN BY:	Samuel Z.
MTO BY:	XX
ENG. BY:	Alan S.
PSC:	Daniel L.

SHEET:

**651**

FBI PROJECT #: 20-2476-00





Docket: BZA-0625-21-AG

Petitioner: Jason Bezy

## **Cicero/Jackson Township Plan Director Staff Report**

### **Docket No. BZA-0625-21-AG**

Staff: Frank Zawadzki

Applicant: Jason Bezy

Property Size: 14.42

Current Zoning: AG

**Location:** A Development Standards Variance application has been submitted regarding the property located at 22400 Cammack Road, Noblesville IN, 46062 concerning Article 7.5 of the Cicero/Jackson Township Zoning Ordinance to: Allow an accessory structure in front of the primary structure. Whereas Article 7.5 AS-02 Accessory Structure Standards of the Cicero/Jackson Township Zoning Ordinance states that an accessory structure shall be to the side or rear of the primary structure only.

**Background Summary:** Applied for a building permit that has not been approved due to the necessity of a Variance for accessory structure in front since they are on a corner lot.

**Preliminary Staff Recommendations:** Staff does not oppose approval.

**Zoning Ordinance Considerations:** Accessory structure is planned well off the road on a large lot. Minimal impact

**District Intent:** : The “AG” District, Agriculture, is intended to provide a land use category for agricultural activities.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Current Property Information:**

Land Use: AG

Site Features: Half pasture for cows and horses, half single family residential.

Vehicle Access: Yes

**Planning Considerations:**

The following general considerations, planning concepts, and other facts should be considered in the Plan Commission decision making process:

**Findings of Facts/Decision Criteria:** A practical difficulty argument can be made here. In the AG district, there is no limit to the number of accessory structures permitted. Where the location for the new barn is needed for AG/storage use, the spot which gives them access to the pasture is on the north side of the property facing 225th. The entire north side of the property is pasture.

Docket # **BZA-0525-21-AG**  
**Jason Bezy - 22400 Cammack Rd.**



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Findings of Fact/Decision Criteria:**

The Board of Zoning Appeals may approve or deny variances from the **development standards** of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 **The approval will not be injurious to the public health, safety, morals, and general welfare of the community.**

*Findings of Facts:*

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---

*This criterion has / has not been met.*

- 2 **The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.**

*Findings of Facts:*

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---

---

*This criterion has / has not been met.*

- 3 **The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property.** *Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.*

*Findings of Facts:*

---

---

---

*This criterion has / has not been met.*



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: \_\_\_\_\_

Any Conditions Attached: \_\_\_\_\_

\_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_



# CICERO/JACKSON TOWNSHIP PLAN COMMISSION

## Director's Report

### May 2025

**Permit Revenue:** May 2025 = \$4,629 YTD: \$17,906

May 2024 = \$5,086 YTD: \$19,738

Difference: Month = -\$457 YTD: \$-1,832

- We have issued a total of 22 building permits for May 2025.
- 13 have been inside the corporate limits (of which 0 have been new homes).
- We have issued 9 in Jackson Township (of which, 0 have been for a new home).
- Estimated Cost of projects permitted \$1,209,335.

The Planning Commission next scheduled meeting is June 11<sup>th</sup> at Red Bridge Community Building. The BZA will meet June 19<sup>th</sup> at the Town Hall.

Please feel free to email, call or stop by the office anytime.

At your service!

Frank Zawadzki

Approval of  
Findings of  
Facts from  
March 2025

S. Zell

**Docket # BZA-0325-10-AG - Accessory Structure in front of primary structure**  
**Stephen Moore**



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Findings of Fact/Decision Criteria:**

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

*No Negative Impact*

This criterion has has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

*No Negative Impact*

This criterion has has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.

Findings of Facts:

*I believe there is a strong practical difficulty here in that the old barn is a safety hazard and is unsightly. The old barn cannot be used in anyway. A new barn is in order.*

This criterion has / has not been met.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approve

Any Conditions Attached: None

Signature: A. N. Zell

Date: 3-20-25



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

The current structure is dangerous

This criterion has / has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

The property will extremely be improved.

This criterion has / has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.*

Findings of Facts:

No Room behind the home structure

This criterion has / has not been met.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: \_\_\_\_\_

Approve

Any Conditions Attached: \_\_\_\_\_

None

Signature: \_\_\_\_\_

[Handwritten Signature]

Date: \_\_\_\_\_

3/20/25

Docket # BZA-0325-10-AG - Accessory Structure in front of primary structure  
Stephen Moore



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

This will be an improvement to the current barn.

This criterion  has / has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

It will improve the value of properties around.

This criterion  has / has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.*

Findings of Facts:

If the barn was turned 90 degrees it would not require a variance, but would restrict use of barn.

This criterion  has / has not been met.



CICERO/JACKSON TOWNSHIP PLAN COMMISSION

Board of Zoning Appeals Options:

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approve

Any Conditions Attached:

Signature:

Date: 3/20/25

Stephen Moore



CICERO/JACKSON TOWNSHIP PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

Not injurious - Improve safety removing present structure

This criterion has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

None

This criterion has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.

Findings of Facts:

Replacement of present barn turning 90 degrees.

This criterion has not been met.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approved

Any Conditions Attached: None

Signature: 

Date: 3-20-25



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

This will not impact public health, safety, morals, and general welfare of the community in a negative way

This criterion has has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

Adjacent property will not be impacted.

This criterion has has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.*

Findings of Facts:

The existing structure is beyond repair, making it a requirement to replace.

This criterion has has not been met.



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Board of Zoning Appeals Options:

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approved

Any Conditions Attached: None

Signature: Michael By

Date: 3-20-25



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

No negative Impact

This criterion has / has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

No negative Impact

This criterion has / has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty:* A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.

Findings of Facts:

I believe a practical difficulty exists to help clean up the area, and create more enterprising business in Town of Cicero. The property is clearly suited for a commercial parking lot. Petitioner has a strong and good reputation of doing what is right for the community.

This criterion has / has not been met.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approve

Any Conditions Attached: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature: A. A. Z...

Date: 3-20-25

Docket # **BZA-0325-11-R5 - setbacks**  
Paul Vondersaar



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Findings of Fact/Decision Criteria:**

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

*not injurious or any BAVE.*

*This criterion has / has not been met.*

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

*no effect*

*This criterion has / has not been met.*

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty:* A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.

Findings of Facts:

*Minimal change*

*This criterion has / has not been met.*



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

No evidence provided that would indicate anything injurious

This criterion  has / has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

No evidence of anything injurious

This criterion  has / has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.*

Findings of Facts:

less setback would not allow anything enough parking spaces

This criterion  has / has not been met.



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approve

Any Conditions Attached: None

Signature: [Handwritten Signature]

Date: 3/20/25



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approved

Any Conditions Attached: None

Signature: 

Date: 3-20-25



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

*No anticipated problems.*

This criterion ~~has~~ has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

*No impact to adjacent property in a negative way.*

This criterion ~~has~~ has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty:* A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.

Findings of Facts:

*Due to the property location this project will enhance the usefulness of the structures.*

This criterion ~~has~~ has not been met.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approve

Any Conditions Attached: None

Signature: Michael Big

Date: 3-20-25

Docket # BZA-0325-11-R5 - setbacks  
Paul Vondersaar



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

added Appears to improve safety to area to provide parking.

This criterion  has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

Appears it will be improved.

This criterion  has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty:* A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.

Findings of Facts:

The lot is not practical for use.

This criterion  has not been met.



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Board of Zoning Appeals Options:

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approved

Any Conditions Attached: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature: 

Date: 3/20/25



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

No negative impact

This criterion has / has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

No negative impact

This criterion has / has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.*

Findings of Facts:

SEE BZA-0325-11-R5 explanation regarding question #3.

This criterion has / has not been met.



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approved

Any Conditions Attached: Drain structure to be added. (not attached)

Signature: A. M. Zell

Date: 3-20-25



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

injurious No evidence provided of any tax

This criterion has has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

The adjacent properties would be affected adversely No evidence provided

This criterion has / has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.*

Findings of Facts:

Not accommodate enough spaces A smaller size lot would

This criterion has / has not been met.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approve

Any Conditions Attached: None

Signature: [Handwritten Signature]

Date: 3/20/25



Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

Will improve safety.

This criterion has / has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

Should improve it to provide added parking.

This criterion has / has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.*

Findings of Facts:

This criterion has / has not been met.



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Board of Zoning Appeals Options:

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approve

Any Conditions Attached: None

Signature: [Signature]

Date: 3/20/25



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

*Minimal Issue not injurious*

This criterion ~~has~~ has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

*Improvements*

This criterion ~~has~~ has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty:* A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.

Findings of Facts:

*Improvement*

This criterion ~~has~~ has not been met.



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approved

Any Conditions Attached: None

Signature: 

Date: 3-10-15



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

No anticipated problems.

This criterion ~~has~~ has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

No impact to adjacent property in a negative way

This criterion ~~has~~ has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.*

Findings of Facts:

Due to the property location this project will enhance the usefulness of the structures.

This criterion ~~has~~ has not been met.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approved

Any Conditions Attached: None

Signature: Michael By

Date: 3-20-25

Docket # BZA-0325-13-R5 - Tree(s)  
Paul Vondersaar



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Findings of Fact/Decision Criteria:**

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

*No negative Impact*

This criterion ~~has~~ has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

*No negative Impact*

This criterion ~~has~~ has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.

Findings of Facts:

*See BZA-0325-11-R5 for explanation here  
Regarding question #3*

This criterion ~~has~~ has not been met.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approved

Any Conditions Attached: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature: A. M. Zell

Date: 3-20-25

Paul Vondersaar



CICERO/JACKSON TOWNSHIP PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

No safety concerns identified

This criterion has / has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

Property owners in the community agree that property values have already increased

This criterion has / has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.

Findings of Facts:

No room for more trees in the area affected. 2 trees already located will stay

This criterion has / has not been met.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approve

Any Conditions Attached: None

Signature: [Handwritten Signature]

Date: 3/26/25

Docket # BZA-0325-13-R5 - Tree(s)  
Paul Vondersaar



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts: Will improve safety

This criterion has / has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts: Will improve properties in a positive manner

This criterion has / has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.*

Findings of Facts:

This criterion has / has not been met.



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Board of Zoning Appeals Options:

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision:

Approve

Any Conditions Attached:

Signature:

Date:

3/20/25

Docket # BZA-0325-13-R5 - Tree(s)  
Paul Vondersaar



CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

2 Trees on site  
not owned

This criterion ~~has~~ has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

None

This criterion ~~has~~ has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. *Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.*

Findings of Facts:

Not needed this app

This criterion ~~has~~ has not been met.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approved

Any Conditions Attached: None

Signature: 

Date: 3-20-15

Paul Vondersaar



CICERO/JACKSON TOWNSHIP PLAN COMMISSION

Findings of Fact/Decision Criteria:

The Board of Zoning Appeals may approve or deny variances from the development standards of the Cicero/Jackson Township Zoning Ordinance. The Board may impose written commitments and/or reasonable conditions as part of an approval. A variance from the development standards may only be approved upon a determination in writing that:

- 1 The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

Findings of Facts:

No anticipated problems.

This criterion ~~has~~ has not been met.

- 2 The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner.

Findings of Facts:

No impact to adjacent property in a negative way.

This criterion ~~has~~ has not been met.

- 3 The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property. Practical Difficulty: A difficulty with regard to one's ability to improve land stemming from regulations of this Ordinance. A practical difficulty is not a "hardship," rather it is situation where owner could comply with the regulations within this Ordinance but would like a variance from the Development Standards to improve his site in a practical manner. For instance, a person may request a variance from a side yard setback due to a large tree which is blocking the only location that would meet the Development Standards for a new garage location.

Findings of Facts:

Due to the property location this project will enhance the usefulness of existing structures.

This criterion ~~has~~ has not been met.



**CICERO/JACKSON  
TOWNSHIP  
PLAN COMMISSION**

**Board of Zoning Appeals Options:**

In reviewing a request for development standards variance the Board may (1) approve the petition as proposed, (2) approve the petition with conditions, (3) continue the petition to a future meeting of the Board, or (4) deny the petition (with or without prejudice). Failure to achieve a quorum on a motion results in an automatic continuance to the next regularly scheduled meeting.

Decision: Approve

Any Conditions Attached: None

Signature: Michael By

Date: 3-20-25